
Originator
Community Development

Item
Final Development Plan - Multi-tenant restaurant and Retail Building

Date
6/16/2016

Description

GENERAL INFORMATION

Applicant: David Peters (owner/applicant)

Location: 8100 26th Avenue South

Request: Final Development Plan for a 8,040 square foot, 271 indoor and 80 outdoor seat restaurant and a 3,416 square foot retail building within the Alpha B planned development

Requested Action

Staff recommends the following motion:

In Case PL2016-85, having been able to make the required findings, I move to recommend City Council approval of a approve Final Development Plan for a 8,040 square foot, 271 indoor and 80 outdoor seat restaurant and a 3,416 square foot retail building within the Alpha B planned development at 8100 26th Avenue South, subject to the conditions and Code requirements attached to the staff report.

Attachments:

Staff Report
Project Description
Final Development Plan
DRC Meeting Minutes
DRC Comment Summary
Notification Map
Affidavit of Publication

GENERAL INFORMATION

Applicant: South Loop Investments, LLC (owner/applicant)

Location: 8100 26th Avenue South

Request: Final Development Plan for a 8,040 square foot, 271 indoor and 80 outdoor seat restaurant and a 3,416 square foot retail building within the Alpha B planned development

Existing Land Use and Zoning: Hotel / vacant land; zoned LINDAU MIXED USE (LX)

Surrounding Land Use and Zoning: East—Offices; zoned CO-1(AR-17)
North—Hotel; zoned LX(PD)(AR-17)
South—Surface parking lot; zoned CO-2(PD)(AR-17)
West—Mall of America; zoned CX-2(PD)(AR-17)

Comprehensive Plan Designation: Lindau Mixed Use

HISTORY

City Council Action: 12/16/13 – Approved rezoning from CO-1(AR-17), Commercial Office (Airport Runway) to LX(AR-17), Lindau Mixed Use (Airport Runway).

City Council Action: 12/16/13 – Approved a platting variance to defer park dedication for the plat of LINDAU LINK ADDITION and the preliminary and final plat of LINDAU LINK ADDITION.

City Council Action: 05/04/15 – Approved rezoning 8100 26th Avenue from LX(AR-17), Lindau Mixed Use(Airport Runway) to LX(AR-17)(PD), Lindau Mixed Use(Airport Runway)(Planned Development), a Preliminary Development Plan for Alpha B, which includes a hotel, restaurant, retail building and parking structure, and a Final Development Plan for a 5-story, 148 room hotel and a 326 space, four level parking structure.

CHRONOLOGY

Planning Commission	06/16/16	Public hearing scheduled
City Council	06/27/16	Tentative meeting date

DEADLINE FOR AGENCY ACTION

Application Date:	05/18/16
60 Days:	07/17/16
Extension Letter Mailed:	No
120 Days:	09/15/16
Applicable Deadline:	07/17/16
Newspaper Notification:	Confirmed – (06/02/16 Sun Current – 10 day notice required)
Direct Mail Notification	Confirmed – (500 buffer – 10 day notice required)

STAFF CONTACT

Mike Centinario
(952) 563-8921
mcentinario@BloomingtonMN.gov

PROPOSAL

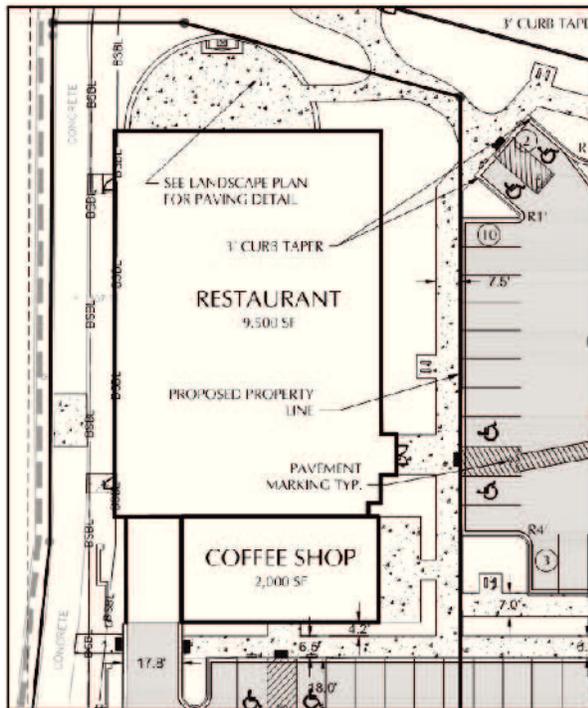
The applicant is seeking Final Development Plan approval for a three-tenant, 11,456 square foot restaurant and retail building within the Alpha B planned development. The primary tenant would be an approximately 8,000 square foot restaurant with 271 indoor seats and 80 outdoor patio seats. A public plaza north of the patio at the corner of 24th Avenue and Lindau Lane will be constructed with a sculptural element. The two remaining spaces would consist of a retail space or restaurant and a coffee shop with a small outdoor patio. The building is located along 24th Avenue South across the street from the Mall of America east parking ramp, although the primary building access would be from the shared parking lot on the east side of the building.

Alpha B is bound by Lindau Lane to the north, 24th Avenue to the west, 82nd Street to the south, and 26th Avenue to the east and is within the City of Bloomington's South Loop District. In 2015, the City Council approved the Alpha B Preliminary Development Plan (PDP) and FDP for the 148-room AC Marriott Hotel and a free-standing parking structure. Both the hotel and parking structure, Phase 1, are currently under construction. The current proposal represents Phase 2, and a forthcoming retail building on the southwest corner of the site would be Phase 3.

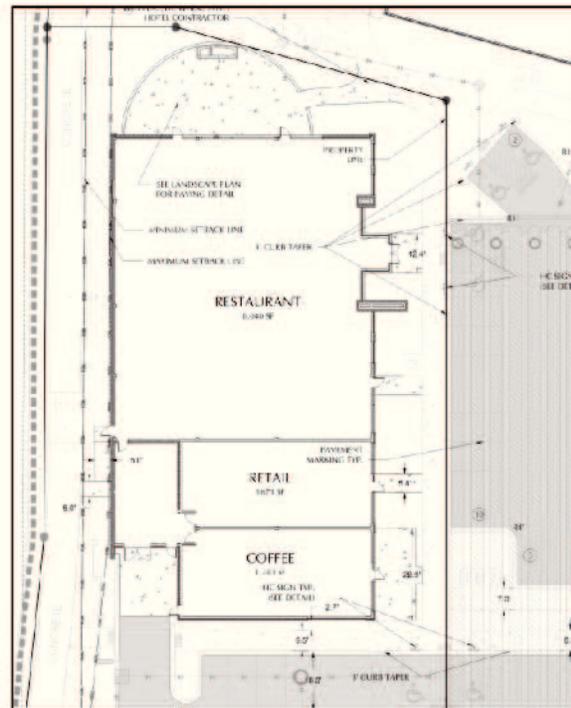
ANALYSIS

Land Use

The general configuration and development intensity was approved through the Alpha B PDP. The Phase 2 building that was depicted in the PDP is below on the left. The proposed Phase 2 building is shown below on the right. Apart from swapping some restaurant space for speculative retail space, and minor changes to primary building entrances, the overall building size and configuration of Phase 2 has remained the same. The FDP is consistent with the PDP.



Approved PDP



Proposed FDP

The property is guided and zoned Lindau Mixed Use. Restaurants and retail are permitted uses in the LX zoning district. Most restaurants within the City of Bloomington Zoning districts require a Conditional Use Permit. However, within the LX district restaurants are permitted uses – a Conditional Use Permit is not necessary.

Code Compliance

Planned developments allow City Code development standard flexibility if the applicant demonstrates the project meets the findings and the City Council determines the flexibility provides a public benefit. Several deviations from City Code were approved through the PDP process, such as for floor area ratio (FAR). Table 1 identifies a partial list of City Code requirements for the LX Zoning District, what is proposed and if the proposal meets the Code

requirement. While an individual building, when reviewed in isolation, may not meet a particular Code requirement, the requirement may be met when considering the entire planned development (i.e., Alpha B Phases 1, 2, and 3). The sections that follow Table 1 provide additional detail regarding Code compliance and necessary revisions.

Table 1: City Code Requirement Analysis

Standard	Code Requirement	Provided	Compliance
Building setback along all streets	20 foot maximum	20 feet	Meets Code
Parking setback (along Street) (Section 21.301.06)	20 foot minimum	20 feet	Meets Code
Floor area ratio (Section 21.301.01)	0.7 minimum	0.55	Deviation to reduce FAR approved with PDP
Building size (Section 21.301.01)	10,000 square feet minimum	11,456 square feet	Meets Code
Ground level transparency – primary façade (24 th Ave.) (Section 21.301.03)	50 percent transparent	~12 percent	Revision required
Ground level transparency – secondary façade (north elevation) (Section 21.301.03)	25 percent transparent	~50 percent	Meets Code
Trash collection area (Section 19.51)	Fully-enclosed with interior access	Fully-enclosed with shared interior access	Meets Code
Free-standing sign setback (Article X)	20 feet	10 feet and >20 feet	Meets Code
Trees (Section 19.52)	11 trees	8 trees	Landscape plan for entire development exceeds City Code requirements
Shrubs (Section 19.52)	27 shrubs	91 shrubs	Meets Code – landscape plan for entire development exceeds City Code requirements

Building Design

Exterior materials will consist of brick, glass, and metal panels. Brick and glass are permitted primary materials. Metal panels may be permitted as primary materials, provided they are found to meet City policies following a thorough staff review. This review includes, but is not necessarily limited to, metal panel specification, finish, durability, and warranty information. The applicant is aware of these standards and has confirmed they will meet or exceed any material requirements.

There are additional structure design standards within Bloomington’s mixed-use districts. To promote attractive street-level design, pedestrian activity and comfort, the ground level portion of a primary building façade between two and ten feet above grade that is adjacent to a street must consist of a minimum of 50 percent transparent windows. Given the proposed location of the building immediately adjacent to 24th Avenue but set back significantly from Lindau Lane,

24th Avenue South is considered the primary building façade when considering street level design. The west building elevation, which faces 24th Avenue South, consists of approximately 12 percent transparent windows. Acknowledging transparency requirements may not be attainable due to “back of house” operations, Section 21.301.03 establishes substitutions for transparent windows. In order to take advantage of the transparency exemption, two of the following three substitutions must be incorporated into the façade design: wall design, building façade embellishments; display boxes, framed display boxes attached to exterior wall; and permanent art, non-commercial or graphic design. While the proposed west façade incorporates some transparent windows, enhanced building material design, and a green screen, staff only considers one substitution (wall design) to be met. The applicant must revise the west elevation to incorporate at least one additional design element as required by City Code.

A recent example of permanent art used as a substitution is at the Fresh Thyme grocery store on American Boulevard east of Penn Avenue. There, permanent sculptural stainless steel plates were fabricated and installed along American Blvd. wrapping around the northeast building corner. The applicant may use the Fresh Thyme art installation as inspiration for permanent art on the Alpha B Phase 2 building.

Landscaping, Screening and Lighting

Landscaping requirements for the entire planned development total 79 trees and 196 shrubs. The landscape plan approved with the PDP and Phase 1 FDP included 117 trees and 950 shrubs, which significantly exceeds City Code requirements. The landscape plan for the Phase 2, when reviewed individually, is deficient three trees but exceeds the shrub requirement. Phase 2 is a part of a larger planned development and the tree count must be taken across the entire planned development.

A lighting plan for the shared parking lot and parking structure has been approved, but did not include lighting photometrics beyond Phase 1 improvements. City Code requires elevated lighting levels for primary and secondary building entrances as well as pedestrian crossings. Prior to the issuance of a building permit, a lighting plan for the Phase 2 building would need to be reviewed and approved by staff.

Access, Circulation, and Parking

Access and circulation plans were approved through the PDP and Phase 1 FDP process. No changes are proposed to the overall access and circulation plan. Access from public right-of-way would remain from 26th Avenue South and E. 82nd Street. No vehicle access is proposed along 24th Avenue and Lindau Lane.

Parking is calculated for the entire planned development because of the shared surface parking lot and parking structure. Table 2 below identifies the parking requirement for the Alpha B development. Based on the proposed uses, hotel, restaurants, and retail, the parking requirement is 426 stalls. The applicant is proposing 425 stalls, which represents a one-stall deviation from City Code. Through the PDP and Phase 1 FDP process, City Council approved a three-stall

deviation from City Code – the proposed parking is consistent with this approval and no further deviation is required.

Table 2: Alpha B Parking Analysis

Use	Unit (rooms, seats, sq ft)	Code Requirement	Spaces Required
Hotel rooms	148	1.1 spaces per guestroom	163
Restaurants (hotel/NOVA restaurant/restaurant #3)	373	1 spaces per 2.5 seats (indoor)	149
	113	1 space per 5 seats (outdoor) and 1 space per 2.5 seats for portion over 20% of indoor seats	30
Retail building and retail tenant	16,243	55 spaces, plus 1 space per 220 square feet of gross floor area over 10,000 square feet	83
Total Requirement			426
Spaces Provided			425
Deviation			1
Deviation (%)			0.14

Airport Zoning

The proposed restaurant/retail building is subject to the Airport Zoning Height limits because of the proximity to the airport runway and cannot exceed 900 to 910 feet in elevation above mean sea level, or 90-100 feet in height above grade. The proposed finished building height is 24 feet above grade, so there is no conflict with maximum height attributed to Airport Overlays. The applicant will need to obtain an Airport Zoning Permit, however, if a crane is used for construction and the total crane height exceeds 60 feet above grade. If no crane is used, or the crane does not exceed 60 feet in height above grade, no action pertaining to Airport Zoning requirements is necessary.

Stormwater Management

A stormwater management plan was submitted for the overall site. Any changes to that stormwater management plan will require a new review of the plans.

Utilities

The overall utility plan was submitted with the Preliminary Development Plan and many of the utilities were installed with the first phase of the project. There is one water service which should either be reused or properly abandoned at the main under 24th Avenue.

Traffic Analysis

A traffic analysis was completed for the Preliminary Development Plan (PDP). There are no significant changes from the PDP that would impact the already completed traffic analysis.

Transit and Transportation Demand Management (TDM)

This redevelopment will require a Tier 2 TDM plan, which allows the property owner to choose from a menu of TDM options. The owner has not submitted a Tier 2 TDM checklist with the application.

Status of Enforcement Orders

There are no open enforcement orders for this property.

FINDINGS

Section 21.501.03(e)(1-7) - Final Development Plans

- (1) The proposed development is not in conflict with the Comprehensive Plan;**
 - The Comprehensive Plan designation is Lindau Mixed Use, allowing for dense mix of office, hotel, retail and service uses. A restaurant and retail building are permitted allowed uses in the LX zoning district. There would be no conflict between the proposed development and the Comprehensive Plan.
- (2) The proposed development is not in conflict with any adopted District Plan for the area;**
 - The proposed development is consistent with the South Loop District Plan (SLDP).
- (3) The proposed development is not in conflict with the approved Preliminary Development Plan for the site;**
 - The Preliminary Development Plan depicting a 11,500 square foot restaurant and coffee shop building was approved in 2015. The proposed Final Development Plan includes a 11,456 square foot restaurant, coffee shop, and retail building in the same general configuration on the site. The Preliminary and Final Development Plan are consistent with each other.
- (4) All deviations from City Code requirements are in the public interest and within the parameters allowed under the Planned Development Overlay Zoning District or have previously received variance approval;**

- All deviations proposed are in the public interest and meet the intent of the code. The proposed deviations are within the parameters of the Planned Development Overlay District and were previously approved through the Preliminary Development Plan.
- (5) **The proposed development is of sufficient size, composition, and arrangement that its construction, marketing, and operation is feasible as a complete unit without dependence upon any subsequent unit;**
- The planned development is of sufficient size, composition, and arrangement that its construction, marketing, and operation are feasible as a complete unit without dependence upon any subsequent unit.
- (6) **The proposed development will not create an excessive burden on parks, schools, streets, and other public facilities and utilities which serve or are proposed to serve the planned development; and**
- Development projections within the SLDP have assisted in planning for and sizing of future infrastructure. A development of this size is not anticipated to create an excessive burden on streets, other public facilities and utilities serving or proposed to serve the planned development.
- (7) **The proposed development will not be injurious to the surrounding neighborhood or otherwise harm the public health, safety and welfare.**
- The planned development will not have an adverse impact on the reasonable enjoyment of neighborhood or harm public health, safety, and welfare.

RECOMMENDATION

Staff recommends the following motion:

In Case PL2016-85, having been able to make the required findings, I move to recommend City Council approval of a Final Development Plan for a 8,040 square foot, 271 indoor and 80 outdoor seat restaurant and a 3,416 square foot retail building within the Alpha B planned development at 8100 26th Avenue South, subject to the conditions and Code requirements attached to the staff report.

**City of Bloomington Planning Department
Formal DRC Review Project Narrative
Alpha B Restaurant, Bloomington, MN**

May 11, 2016

The following is a brief project narrative outlining our proposed uses and the further development of the 4.45 acre site currently referred to as “Alpha B” on the corner of Lindau Lane and 24th Street in Bloomington MN. Over the last three years we have worked closely with the Port Authority and City officials to help realize a vision for a dense, mixed-use development that helps meet the needs of the growing South Loop District.

The current site design is shown on the Site Plan (sheet C2-1) and incorporates the following five elements on the site:

Previously approved elements:

1. **AC Hotel by Marriott**: The previously approved five story, 148 room, upscale hotel is currently under construction on the site with an expected opening date of January 2017.
2. **Parking Structure**: The previously approved four-story parking structure will start construction shortly with an anticipated completion date of September 2016.
3. **Public Plaza**: The previously approved public plaza will commence construction later this summer with a completion date of late fall.

Element being submitted for final approval now:

4. **Restaurant/Retail Building**: The plan identifies a building with three tenants with a total SF of approximately 11,456sf.
 - The first user is a full service restaurant and bar with a size of approximately 8,040 sf. The restaurant will have an outdoor patio of approximately 1,364 sf and smaller patio of approximately 293sf. The restaurant accommodates 271 seats indoors and has outdoor seating capacity of 80. Restaurant hours are anticipated to be lunch and dinner with a bar that is active in the evening. The restaurant has access to shared indoor trash and recycling facilities on the west end.
 - Adjacent to the restaurant will be either one retail/restaurant user comprising approximately 3,416sf or more likely two users of 1,743sf and 1,673sf respectively. Leasing negotiations are currently underway but the Tenant C user is likely to be a coffee shop and Tenant B has not been determined.

Element to be submitted in future:

5. **Market/Retail**: Marketing efforts continue to be underway to secure an acceptable grocery/pharmacy/market tenant for the SW corner of the project with a likely 14,500sf footprint. The Market/Retail will be submitted for Final Development Plan review in the future.

Other Site Clarifications: The preliminary DRC meeting surfaced the need to accommodate the City Ladder 3 truck turning radius' and travel paths through the site. The project civil engineer has confirmed through "Autoturn" that these turns and travel paths are functional. Plan sheet C2-2 shows the truck route through the site.

The City required a traffic consultant to be engaged and a traffic study completed. The study has been completed and the results are currently being reviewed by City staff.

The City engaged their consultant to complete the Preliminary Plat and Final Plat for the project. That plat included a parcel to include the City owned parking structure, a parcel for the retail that is contemplated as a subsequent phase, a parcel for the restaurants, and the remaining parcel for the hotel. The public plaza will be treated in an identical fashion to the TownePlace plaza and be owned fee simple by the hotel subject to a perpetual easement in favor of the City.

The Park Dedication fees were paid for site as part of the development approval for the overall block.

Parking: Because of the site density and incorporation of structured parking, ensuring ample and convenient parking will be critical to the project's success. Parking supply will be comprised of 323 stalls within the parking structure plus the 102 surface parking stalls for a total of 425 stalls. Of those parking stalls, 17 are accessible stalls with accessible aisles. The accessible stalls are located adjacent to the entrances of each of the proposed buildings.

Parking code mandated demand of 196 stalls for the hotel, 152 stalls for the restaurants (271+35+35) seats / 2.5 + (80 seat outdoor /5), and future retail stalls of 76 (55 spaces + 1 space per 220sf of gross floor area over 10,000sf) equates to a demand of 424 which is unadjusted for captive considerations. This demand number takes the peak parking demands for different uses that obviously have different peak demand periods. Coffee demand peaks in the morning, hotel peaks in the late evening, restaurants peak at lunch and dinner, and retail can obviously vary but most likely would mirror mall related traffic hours of operation.

We are currently proposing to meet the demand cumulative parking count. However, the final total demand will depend on the ultimate users of the three remaining leasable spaces. To allow for a potential shared parking scenario with a total supplied parking count below the cumulative required peak parking counts for each of the individual uses the project was originally submitted for a Rezoning to the LX(PD) to include a PD Overlay District. That rezoning was approved with an anticipated parking deviation of 3 stalls below the required total stall count.

Construction Staging: There will be roughly a 30 day lag between the hotel (early January) and the restaurant (early February) and most of the remaining hotel work will be training, FFE install, and interior finish work. We will have ample ramp parking as well as some surface parking for contractors and employees.

50% Transparency for West Façade Requirement: Since the 50% transparency is not met on the West (primary) façade, we are utilizing Section 21.301.03, (b), (1), (D) Exceptions to meet the façade requirements. Specifically we are utilizing part (i) Wall design. (aa) and are providing rows of horizontal

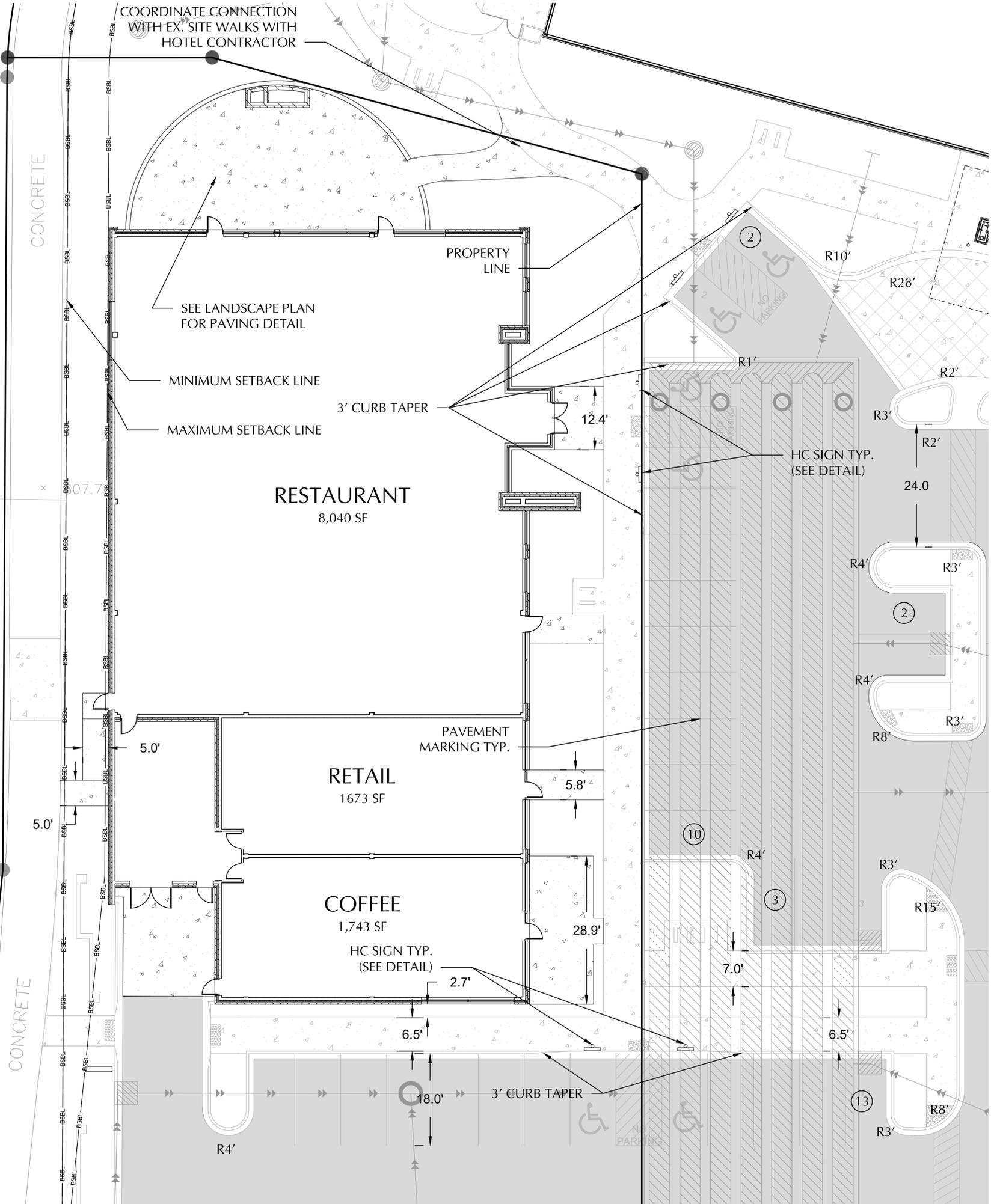
indentations in the portion of the façade closest to the public way in addition to some glazing along the same portion. The area of the glazing and the area of wall with the horizontal indentations makes up > 50% of the West façade.

Master Sign Plan: The AC Hotel design includes an iconic rooftop sign cube. We felt that this design element was important to the character of the hotel and the contribution it made to the South Loop District. As a result we proposed amendments to the City Code in June of 2015 that would allow such signage in the South Loop District. We are now following up on this initial code amendment with our Master Sign Plan for the project which includes this rooftop sign elements. Attached for your review is our plan which we would like to include with this DRC submittal.

Development Application: This submittal includes application for:

Final Development Plan review for the Restaurant building
Master Sign Plan

Plotted: 05/10/2016 11:20 PM W:\2014\146728\CADD DATA\CIVIL.dwg Sheet: C2-1



SITE NOTES

- ALL PAVING, CONCRETE CURB, GUTTER AND SIDEWALK SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE DETAILS SHOWN PER SHEET C8-1 AND THE REQUIREMENTS OF THE CITY. SEE LANDSCAPE PLANS FOR ANY ADDITIONAL HARDSCAPE APPLICATIONS
- MINNESOTA STATE STATUTE REQUIRES NOTIFICATION PER "GOPHER STATE ONE CALL" PRIOR TO COMMENCING ANY GRADING, EXCAVATION OR UNDERGROUND WORK.
- THE CONTRACTOR SHALL PRESERVE AND MAINTAIN ANY EXISTING STREET LIGHTS AND TRAFFIC SIGNS PER THE REQUIREMENTS OF THE CITY
- CLEAR AND GRUB AND REMOVE ALL TREES, VEGETATION AND SITE DEBRIS PRIOR TO GRADING. ALL REMOVED MATERIAL SHALL BE HAULED FROM THE SITE DAILY. ALL CLEARING AND GRUBBING AND REMOVALS SHALL BE PERFORMED PER THE CONTRACT SPECIFICATIONS. EROSION CONTROL MEASURES SHALL BE IMMEDIATELY ESTABLISHED UPON REMOVAL.
- THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL PERMITS FROM THE CITY AS REQUIRED FOR ALL WORK WITH THE STREET AND PUBLIC RIGHT OF WAY
- ALL CURB TERMINI TO HAVE A 3 FOOT TAPER UNLESS OTHERWISE NOTED.
- ALL CURB DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- BITUMINOUS IMPREGNATED FIBER BOARD TO BE PLACED AT FULL DEPTH OF CONCRETE ADJACENT TO EXISTING STRUCTURES AND BEHIND CURB ADJACENT TO DRIVEWAYS AND SIDEWALKS.
- ACCESSIBLE PARKING SIGNAGE AND PAVEMENT MARKINGS SHALL BE PLACED IN ACCORDANCE WITH ADA AND MMUTCD.
- CLOSURE OF SIDEWALK ALONG 24TH AVENUE MUST BE COORDINATED WITH SIDEWALK CLOSURES OF OTHER AREA CONSTRUCTION PROJECTS ALONG 24TH AVENUE CITY OF BLOOMINGTON PROJECT #2013-201 WAYFINDING, EXTENDED STAY HOTEL CONSTRUCTION (NE QUADRANT OF LINDAU & 24TH) & CITY OF BLOOMINGTON PROJECT #2014-302 LINDAU EXTENSION. CONTACT TOM BOWLIN 952-563-4914 TO COORDINATE.
- PRIVATE SIDEWALKS ADJACENT TO PARKING STALLS SHALL BE A MINIMUM OF 6' IN WIDTH.

PARKING

SURFACE:	
REGULAR STALLS - 90	
HC STALLS - 12	
TOTAL - 102	
RAMP PARKING:	
REGULAR STALLS - 311	
HC STALLS - 8	
TOTAL - 319	
MOTORCYCLE	
PARKING - 5	

SITE PLAN LEGEND

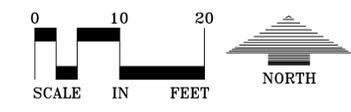
	CONCRETE SIDEWALK
	BITUMINOUS PAVEMENT
	CONCRETE PAVEMENT
	CONSTRUCTION LIMITS

SETBACKS

MINIMUM REQUIRED SETBACK = 10' OR WIDTH OF ADJACENT EASEMENT
 MAXIMUM SETBACK = 20'

BENCHMARK

TOP NUT HYDRANT LOCATED IN THE NORTHWEST QUADRANT OF 26TH AVE. S. & 82ND ST.
 ELEVATION=809.17 FEET (NGVD 1929)



EXISTING CONDITIONS PROVIDED BY SUNDE LAND SURVEYING DATED FEBRUARY 15th, 2015. CONTRACTOR TO FIELD VERIFY SITE CONDITIONS AND CONTACT ENGINEER ABOUT ANY DISCREPANCIES.

CITY OF BLOOMINGTON STANDARD NOTES

- TEMPORARY STREET SIGNS, LIGHTING, AND ADDRESSES SHALL BE PROVIDED DURING CONSTRUCTION.
- CONTRACTOR SHALL OBTAIN A PUBLIC WORKS PERMIT APPLICATION FOR OBSTRUCTIONS AND CONCRETE WORK WITHIN LINDAU LANE RIGHT-OF-WAY. PERMIT IS REQUIRED PRIOR TO REMOVALS OR INSTALLATION. CONTACT SEAN JENKINS AT 952-563-4545 OR SJENKINS@CITY.BLOOMINGTON.MN.US PERMIT APPLICATION AND FOR FEE INFORMATION.
- PUBLIC WORKS PERMIT APPLICATION FOR UNDERGROUND WORK WITHIN THE RIGHT-OF-WAY IS REQUIRED PRIOR TO REMOVAL OR INSTALLATION OF SANITARY, WATER OR STORM WORK WITHIN THE LINDAU LANE PUBLIC RIGHT-OF-WAY. CONTACT UTILITIES AT 952-563-4568 FOR PERMIT APPLICATION AND FOR FEE INFORMATION.
- RESTORE CITY STREET BY COMPLYING WITH THE CITY STREET IMPROVEMENT POLICY; CONTACT UTILITIES (952-563-4568) FOR THE REQUIREMENTS AND SHOW THIS ON THE PLAN.
- CONTRACTOR SHALL OBTAIN HENNEPIN COUNTY PERMIT FOR WORK WITHIN 24TH AVENUE RIGHT-OF-WAY. CONTACT HENNEPIN COUNTY PERMIT ENGINEER AT 612-596-0336 FOR PERMIT APPLICATION AND FEE INFORMATION.
- ALL PARKING STALLS TO BE PAINTED WITH WHITE STRIPING.
- ALL CONSTRUCTION AND POST-CONSTRUCTION PARKING SHALL BE ON-SITE - NO ON-STREET PARKING/LOADING/UNLOADING ALLOWED.
- ALL PUBLIC SIDEWALKS SHALL NOT BE OBSTRUCTED.
- STORAGE OF MATERIALS OR EQUIPMENT SHALL NOT BE ALLOWED ON PUBLIC STREETS OR WITHIN PUBLIC RIGHT-OF-WAY.
- STREET LIGHTING AND INTERCONNECT CONDUIT MUST BE EXPOSED FOR CITY INSPECTION PRIOR TO POURING CONCRETE OR BACKFILLING EXCAVATIONS IN CITY RIGHT-OF-WAY. CONTACT SEAN JENKINS (952-563-4545) TO SCHEDULE INSPECTION.
- INSTALL CROSSWALK PAVEMENT MARKINGS IN ACCORDANCE WITH MMUTCD.
- A MN LICENSED CIVIL ENGINEER MUST DESIGN AND SIGN ALL RETAINING WALLS 4-FOOT HIGH AND HIGHER.
- ALL COMPONENTS OF THE WATER SYSTEM, UP TO THE WATER METER OR FIRE SERVICE EQUIPMENT, (I.E. MAINLINE PIPES, SERVICES LARGER THAN 2", VALVES, FITTINGS, CAPS, ETC.) SHALL UTILIZE PROTECTIVE INTERNAL COATINGS MEETING CURRENT ANSI/AWWA STANDARDS FOR CEMENT MORTAR LINING OR SPECIAL COATINGS. THE USE OF UNLINED OR UNCOATED (CAST-IRON, GRAY-IRON, STEEL, GALVANIZED, ETC.) PIPE SHALL NOT BE ALLOWED.
- COMBINATION FIRE AND DOMESTIC SERVICES MUST TERMINATE WITH A THREAD ON FLANGE OR AN MJ TO FLANGE ADAPTER.
- UTILITY AND MECHANICAL CONTRACTORS SHALL COORDINATE INSTALLATION OF WATER SERVICE PIPES, FITTINGS, AND VALVES ALL THE WAY INTO THE BUILDING (I.E. UP TO METERS AND/OR FIRE SERVICE EQUIPMENT) TO ACCOMMODATE CITY INSPECTION AND TESTING.
- UTILITY AND MECHANICAL CONTRACTORS SHALL COORDINATE INSTALLATION OF SEWER SERVICES ALL THE WAY INTO THE BUILDING TO ACCOMMODATE CITY INSPECTION AND TESTING.
- CONTRACTOR SHALL OBTAIN A PUBLIC WORKS PERMIT APPLICATION FOR OBSTRUCTIONS AND CONCRETE WORK WITHIN LINDAU LANE, 82ND ST., AND 26TH AVENUE S. RIGHT-OF-WAY. PERMIT IS REQUIRED PRIOR TO REMOVALS OR INSTALLATION. CONTACT SEAN JENKINS AT 952-563-4545 OR SJENKINS@BLOOMINGTONMN.GOV PERMIT APPLICATION AND FOR FEE INFORMATION.
- STREET LIGHTING INTERCONNECT CONDUIT MUST BE EXPOSED FOR CITY INSPECTION PRIOR TO POURING CONCRETE OR BACKFILLING EXCAVATIONS IN CITY RIGHT-OF-WAY. CONTACT SEAN JENKINS, 952-563-4545, TO SCHEDULE INSPECTION.
- CLOSURE OF SIDEWALK ALONG 24TH AVENUE MUST BE COORDINATED WITH SIDEWALK CLOSURES OF OTHER AREA CONSTRUCTION PROJECTS ALONG 24TH AVENUE 92012-201 WAYFINDING, EXTENDED STAY HOTEL CONSTRUCTION (NE QUAD LINDAU & 24TH), 2014 - 302 EXTENSION) CONTACT TOM BOWLIN, 952-563-4914, TO COORDINATE.

ALPHA B RESTAURANT
 BLOOMINGTON, MN

TERRATRON
 340 MAIN SUITE #200
 PARK CITY, UT 84060

LOUCKS
 PLANNING
 CIVIL ENGINEERING
 LAND SURVEYING
 LANDSCAPE ARCHITECTURE
 ENVIRONMENTAL
 7200 Hemlock Lane, Suite 300
 Maple Grove, MN 55369
 763.424.5505
 www.louckscinc.com

CADD QUALIFICATION

CADD files prepared by the Consultant for this project are instruments of the Consultant's professional services for use solely with respect to this project. These CADD files shall not be used on other projects, for additions to this project, or for completion of this project by others without written approval by the Consultant. With the Consultant's approval, others may be permitted to obtain copies of the CADD drawing files for information and reference only. All intentional or unintentional revisions, additions, or deletions to these CADD files shall be made at the full risk of that party making such revisions, additions or deletions and that party shall hold harmless and indemnify the Consultant from any & all responsibilities, claims, and liabilities.

SUBMITTAL/REVISIONS

4-28-16	CITY SUBMITTAL
05-11-16	DRC SUBMITTAL

PROFESSIONAL SIGNATURE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Nicholas M. Munnell - PE

License No.	45861
Date	05-11-16

QUALITY CONTROL

Project No.	146728
Project Lead	NMM
Drawn By	TRG
Checked By	TDG
Review Date	05-11-16

SHEET INDEX

C2-1	SITE PLAN
C2-2	OVERALL SIGNAGE PLAN
C3-1	GRADING & DRAINAGE PLAN
C3-2	SWEEP PLAN
C4-1	UTILITY PLAN (SANI. & WATER)
C4-2	UTILITY PLAN (STORM)
C8-1	DETAIL SHEET
C8-2	DETAIL SHEET



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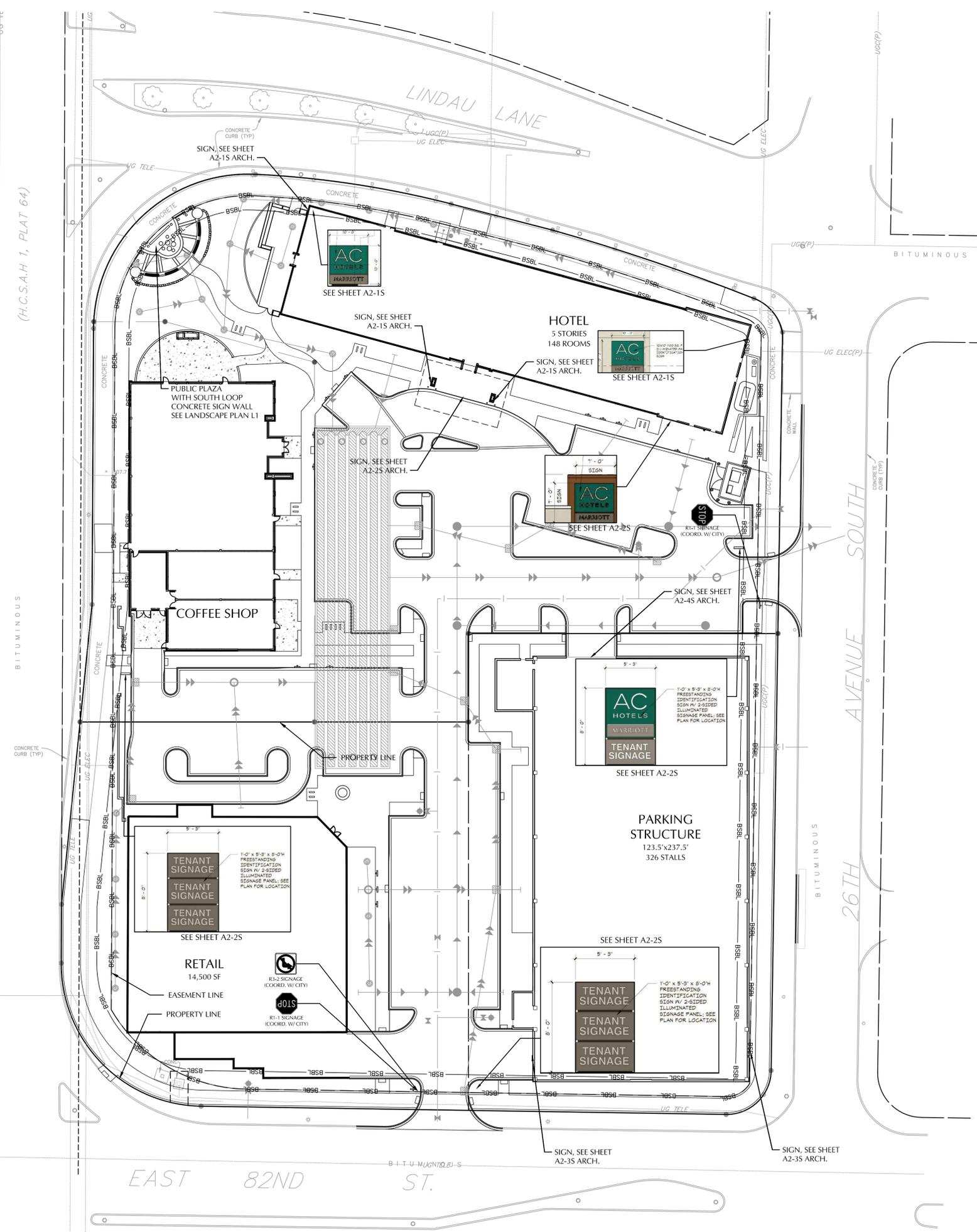
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SITE PLAN
C2-1

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- CLOSURE OF SIDEWALK ALONG 24TH AVENUE MUST BE COORDINATED WITH SIDEWALK CLOSURES OF OTHER AREA CONSTRUCTION PROJECTS ALONG 24TH AVENUE 92012-201 WAYFINDING, EXTENDED STAY HOTEL CONSTRUCTION (NE QUAD LINDAU & 24TH), 2014 - 302 EXTENSION) CONTACT TOM BOWLIN, 952-563-4914, TO COORDINATE.

EXISTING CONDITIONS PROVIDED BY SUNDE LAND SURVEYING DATED FEBRUARY 15th, 2015. CONTRACTOR TO FIELD VERIFY SITE CONDITIONS AND CONTACT ENGINEER ABOUT ANY DISCREPANCIES.

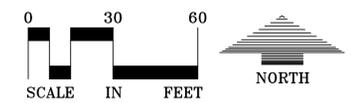


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 340 MAIN SUITE #200
 PARK CITY, UT 84060

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 7200 Hemlock Lane, Suite 300
 Maple Grove, MN 55369
 763.424.5505
 www.louckscinc.com

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SUBMITTAL/REVISIONS

4-28-16	CITY SUBMITTAL
05-11-16	DRC SUBMITTAL

PROFESSIONAL SIGNATURE
 I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
 License No. 45861
 Date 05-11-16

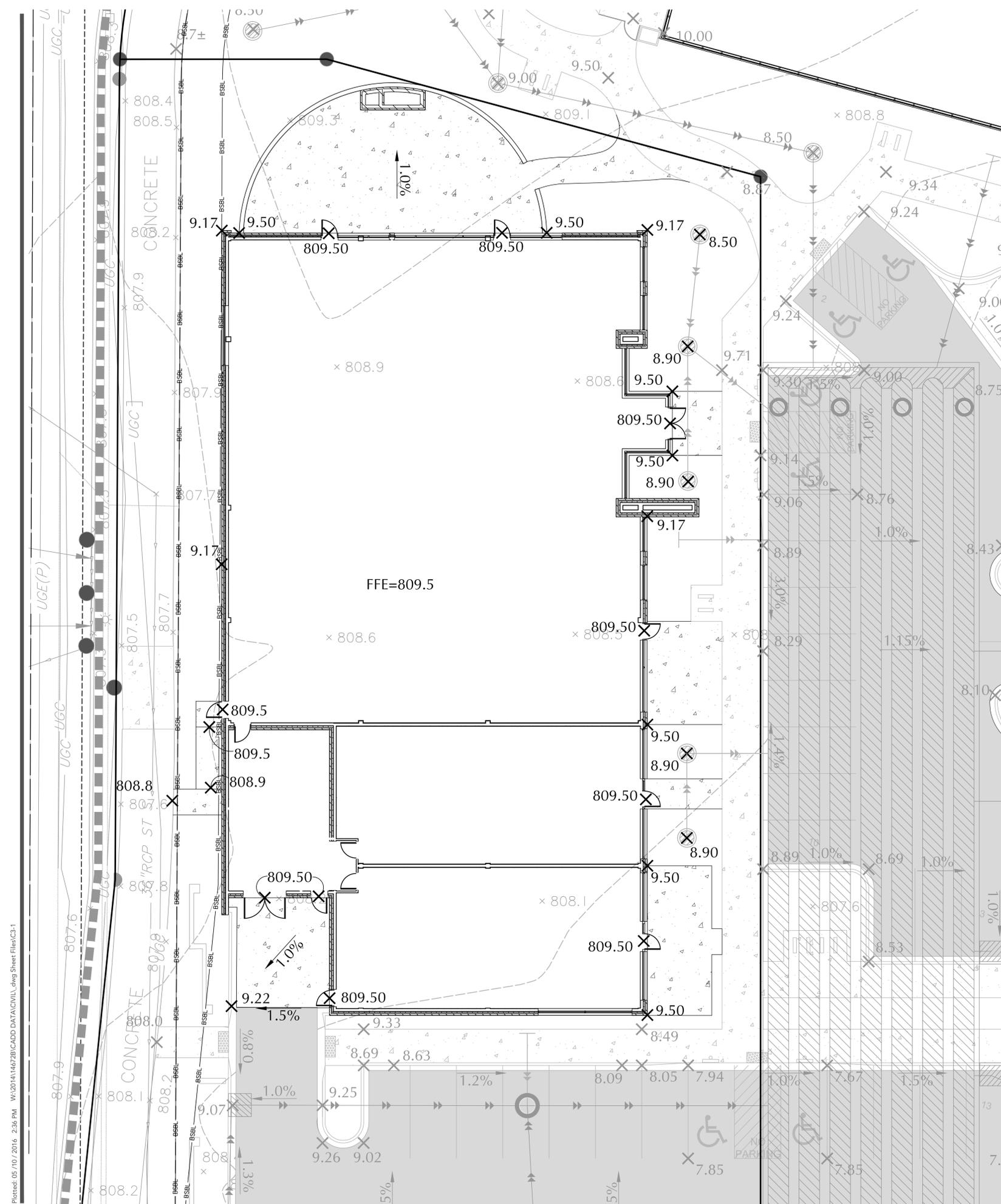
QUALITY CONTROL

Loucks Project No.	146728
Project Lead	NMM
Drawn By	TRG
Checked By	TDG
Review Date	05-11-16

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OVERALL SITE SIGNAGE PLAN
C2-2



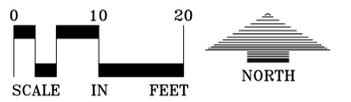
GRADING, DRAINAGE & EROSION CONTROL NOTES

1. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF BUILDINGS, VESTIBULES, SLOPED PAVING, EXIT PORCHES, RAMPS, TRUCK DOCKS, ENTRY LOCATIONS AND LOCATIONS OF DOWNSPOUTS.
2. ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE MINIMUM OF 4 INCHES OF TOP SOIL AND SEED/MULCH. THESE AREAS SHALL BE WATERED/MAINTAINED BY THE CONTRACTOR UNTIL VEGETATION IS ESTABLISHED.
3. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASE OF THIS PROJECT. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY DAMAGES TO ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASE OF THIS PROJECT.
4. THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE APPROPRIATE MINNESOTA DEPARTMENT OF TRANSPORTATION STANDARDS.
5. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING THE PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
6. THE DUTY OF THE ENGINEER OR THE DEVELOPER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTORS PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTORS SAFETY MEASURES IN, OR NEAR THE CONSTRUCTION SITE.
7. BEFORE BEGINNING CONSTRUCTION THE CONTRACTOR SHALL INSTALL A TEMPORARY ROCK ENTRANCE PAD AT ALL POINTS OF VEHICLE EXIT FROM THE PROJECT SITE. SAID ROCK ENTRANCE PAD SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THE PROJECT. SEE DETAILS SHOWN ON DETAIL SHEETS.
8. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE ESTABLISHED AROUND THE ENTIRE SITE PERIMETER AND IN ACCORDANCE WITH NPDES PERMIT REQUIREMENTS, BEST MANAGEMENT PRACTICES, CITY REQUIREMENTS AND THE DETAILS SHOWN ON THE DETAIL SHEETS.
9. ALL ENTRANCES AND CONNECTIONS TO CITY STREETS SHALL BE CONSTRUCTED PER THE REQUIREMENTS OF THE CITY AND/OR COUNTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS AND NOTIFICATIONS AS REQUIRED.
10. ALL STREET REPAIRS AND PATCHING SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CITY. ALL TRAFFIC CONTROL SHALL BE PROVIDED BY THE CONTRACTOR AND SHALL BE ESTABLISHED PER THE REQUIREMENTS OF THE MINNESOTA MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). AND THE CITY. THIS SHALL INCLUDE ALL SIGNAGE, BARRICADES, FLASHERS AND FLAGGERS AS NEEDED. ALL PUBLIC STREETS SHALL BE OPEN TO TRAFFIC AT ALL TIMES.
11. ADJUST ALL EXISTING STRUCTURES, BOTH PUBLIC AND PRIVATE TO THE PROPOSED GRADES WHERE DISTURBED AND COMPLY WITH ALL REQUIREMENTS OF THE UTILITY OWNERS. STRUCTURES BEING RESET TO PAVED AREAS MUST MEET OWNERS REQUIREMENTS FOR TRAFFIC.
12. STREETS MUST BE CLEANED AND SWEEP WHENEVER TRACKING OF SEDIMENTS OCCURS AND BEFORE SITES ARE LEFT IDLE FOR WEEKENDS AND HOLIDAYS. A REGULAR SWEEPING SCHEDULE MUST BE ESTABLISHED.
13. DUST MUST BE ADEQUATELY CONTROLLED.
14. SEE SWPPP FOR ADDITIONAL EROSION CONTROL NOTES AND REQUIREMENTS.
15. SEE UTILITY PLAN FOR STORM SEWER INFORMATION.
16. SPOT ELEVATIONS REPRESENT FINISHED SURFACE GRADES AT GUTTER LINE, FACE OF BUILDING, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
17. REFER TO THE GEOTECHNICAL EVALUATION REPORT, DATED APRIL 20, 2015 AS PREPARED BY BRAUN INTERTEC CORPORATION, FOR AN EXISTING SUBSURFACE SITE CONDITION ANALYSIS AND CONSTRUCTION RECOMMENDATIONS.
18. SEE UTILITY PLAN FOR STORM, WATER AND SANITARY SEWER INFORMATION.
19. SEE SITE PLAN FOR CURB AND BITUMINOUS TAPER LOCATIONS
20. PER ADA STANDARDS, SIDEWALK CROSS SLOPES SHALL NOT EXCEED 2% AND RUNNING SLOPES SHALL NOT EXCEED 5% ALONG THE ACCESSIBLE ROUTES.

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PARK CITY, UT 84060

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SUBMITTAL/REVISIONS

4-28-16 CITY SUBMITTAL
05-11-16 DRC SUBMITTAL

PROFESSIONAL SIGNATURE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
Nicholas M. Munnell
License No. 45861
Date 05-11-16

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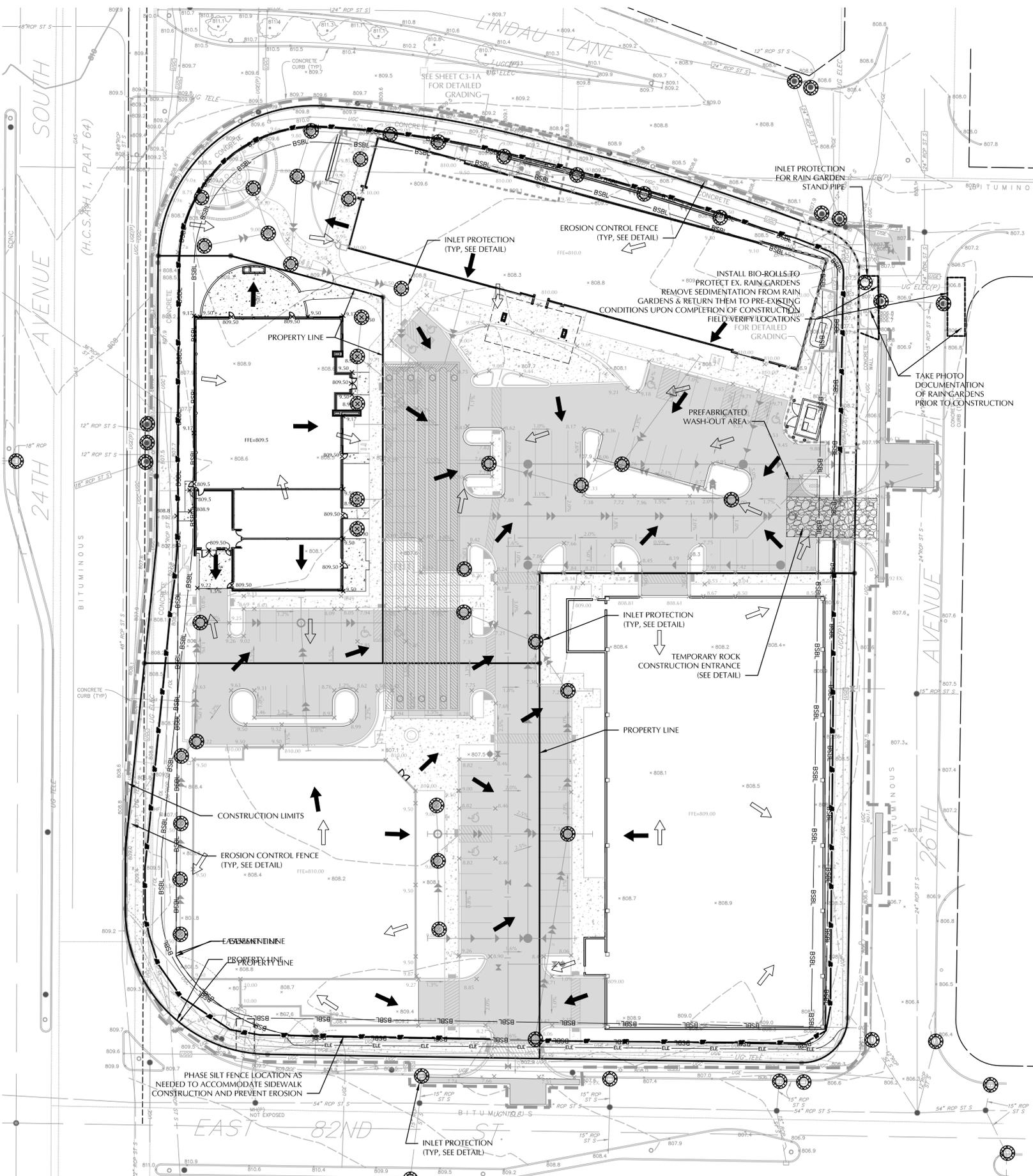
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GRADING & DRAINAGE PLAN

C3-1



SWPPP NOTES

- THE NATURE OF THIS PROJECT WILL CONSIST OF CONSTRUCTING: A 148 ROOM HOTEL, PARKING STRUCTURE, RESTAURANT, & A RETAIL BUILDING WITH ASSOCIATED SURFACE PAVEMENTS, UTILITIES AND STORMWATER MANAGEMENT.
- THE INTENDED SEQUENCING OF MAJOR CONSTRUCTION ACTIVITIES ARE AS FOLLOWS:
 - INSTALL VEHICLE TRACKING BMP
 - INSTALL SILT FENCE AROUND SITE CLEAR AND GRUB SITE
 - STRIP AND STOCKPILE TOPSOIL
 - REMOVE PAVEMENTS AND UTILITIES
 - CONSTRUCT STORMWATER MANAGEMENT SYSTEMS
 - INSTALL INLET PROTECTION FOR SYSTEMS
 - ROUGH GRADE SITE
 - IMPORT CLEAN FILL FOR REPLACEMENT AND BALANCE
 - INSTALL UTILITIES
 - INSTALL BUILDING FOUNDATIONS
 - INSTALL CURB AND GUTTER
 - INSTALL PAVEMENTS AND WALKS
 - FINAL GRADE SITE
 - REMOVE ACCUMULATED SEDIMENT FROM STORM WATER SYSTEMS
 - SEED AND MULCH
 - WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE IS STABILIZED, REMOVE SILT FENCE AND RESEED ANY AREAS DISTURBED BY THE REMOVAL.
- GENERAL SOIL TYPE: HSG B (SEE GEOTECHNICAL EVALUATION REPORT FOR DETAILED INFORMATION)

AREA OF DISTURBANCE: 4.72 AC
 PRE-CONSTRUCTION IMPERVIOUS AREA: 3.68 AC
 POST-CONSTRUCTION IMPERVIOUS AREA: 3.53 AC
- THE LOCATION OF AREAS NOT TO BE DISTURBED MUST BE IDENTIFIED WITH FLAGS, STAKES, SIGNS, SILT FENCE, ETC. BEFORE CONSTRUCTION BEGINS.
- ALL DISTURBED GROUND LEFT INACTIVE FOR FOURTEEN (14) OR MORE DAYS SHALL BE STABILIZED BY SEEDING OR SODDING (ONLY AVAILABLE PRIOR TO SEPTEMBER 15) OR BY MULCHING OR COVERING OR OTHER EQUIVALENT CONTROL MEASURE.
- ON SLOPES 3:1 OR GREATER MAINTAIN SHEET FLOW AND MINIMIZE RILLS AND/OR GULLIES. SLOPE LENGTHS CAN NOT BE GREATER THAN 75 FEET.
 DENOTES SLOPES GREATER THAN 3:1. ALL 3:1 SLOPES TO BE STABILIZED WITH EROSION CONTROL BLANKET
- ALL STORM DRAINS AND INLETS MUST BE PROTECTED UNTIL ALL SOURCES OF POTENTIAL DISCHARGE ARE STABILIZED.
- TEMPORARY SOIL STOCKPILES MUST HAVE EFFECTIVE SEDIMENT CONTROL AND CAN NOT BE PLACED IN SURFACE WATERS OR STORM WATER CONVEYANCE SYSTEMS. TEMPORARY STOCKPILES WITHOUT SIGNIFICANT AMOUNT OF SILT, CLAY, OR ORGANIC COMPOUNDS ARE EXEMPT EX. CLEAN AGGREGATE STOCK PILES, DEMOLITION CONCRETE STOCKPILES, SAND STOCKPILES.
- SEDIMENT LADEN WATER MUST BE DISCHARGED TO A SEDIMENTATION BASIN WHENEVER POSSIBLE. IF NOT POSSIBLE, IT MUST BE TREATED WITH THE APPROPRIATE BMP'S.
- SOLID WASTE MUST BE DISPOSED OF PROPERLY AND MUST COMPLY WITH MPCA DISPOSAL REQUIREMENTS.
- EXTERNAL WASHING OF CONSTRUCTION VEHICLES MUST BE LIMITED TO A DEFINED AREA OF THE SITE. RUNOFF MUST BE PROPERLY CONTAINED.
- NO ENGINE DEGRASSING IS ALLOWED ON SITE.
- THE OWNER WHO SIGNS THE NPDES PERMIT APPLICATION IS A PERMITEE AND IS RESPONSIBLE FOR COMPLIANCE WITH ALL TERMS AND CONDITIONS OF THE PERMIT. THE OPERATOR (CONTRACTOR WHO SIGNS THE NPDES PERMIT APPLICATION IS A PERMITEE FOR PARTS II.B., PART III.C., PART III.E., PART V, PART IV AND APPLICABLE CONSTRUCTION ACTIVITY REQUIREMENTS FOUND IN APPENDIX A, PART C. OF THE NPDES PERMIT AND IS JOINTLY RESPONSIBLE WITH THE OWNER FOR COMPLIANCE WITH THOSE PORTIONS OF THE PERMIT.
- TERMINATION OF COVERAGE (PERMITEE)S WISHING TO TERMINATE COVERAGE MUST SUBMIT A NOTICE OF TERMINATION (NOT) TO THE MPCA. ALL PERMITEES MUST SUBMIT A NOT WITHIN 30 DAYS AFTER ONE OR MORE OF THE FOLLOWING CONDITIONS HAVE BEEN MET:
 - FINAL STABILIZATION, PER NPDES PERMIT PART IV.G. HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERMITEE IS RESPONSIBLE.

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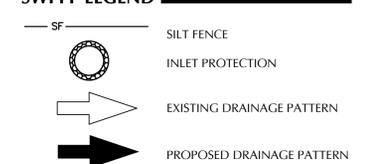
TYPICAL SUBSURFACE SOIL STRATUM

STRATUM	DEPTH TO BASE OF STRATUM BELOW EXISTING GRADE	MATERIAL DESCRIPTION
1	0 TO 18 FEET	FILL
2	4 TO 14 FEET	ML AND CL
3	4 TO 41 FEET	SM, SP, SM, AND SP
4	TERMINATION DEPTH OF 16 TO 41 FEET	SP AND SP-SM

***SEE GEOTECHNICAL REPORT AS PART OF SWPPP FOR ADDITIONAL SOILS INFORMATION PERMANENT STORMWATER MANAGEMENT**

X	INFILTRATION
	STORMWATER HARVEST AND REUSE
	FILTRATION
	WET SEDIMENTATION BASIN
	REGIONAL PONDING

SWPPP LEGEND



RECEIVING WATERS

NAME OF WATER BODY	TYPE OF WATER BODY	SPECIAL WATER	IMAIRED WATER	TYPE OF SPECIAL WATER
CITY STORM SEWER	N/A	NO	NO	

ESTIMATED QUANTITIES

DESCRIPTION	UNIT	QUANTITY
TEMPORARY ROCK CONSTRUCTION ENTRANCE	EA	1
PREFABRICATED CONCRETE WASHOUT	EA	1
SILT FENCE (STANDARD)	LF	1,626
INLET PROTECTION	EA	62
SEEDING	AC	0.9

PROJECT LOCATION

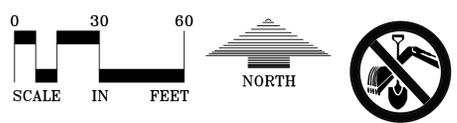
COUNTY	TOWNSHIP	LATITUDE	LONGITUDE
HENNEPIN	27	44.856067	-93.236650

SWPPP DESIGNER

UNIVERSITY OF MINNESOTA
Trevor Gruys
 Design of Construction SWPPP (May 31 2017)

EXISTING CONDITIONS PROVIDED BY SUNDE LAND SURVEYING DATED FEBRUARY 15th, 2015. CONTRACTOR TO FIELD VERIFY SITE CONDITIONS AND CONTACT ENGINEER ABOUT ANY DISCREPANCIES.

BENCHMARK
 TOP NUT HYDRANT LOCATED IN THE NORTHWEST QUADRANT OF 26TH AVE. S. & 82ND ST. ELEVATION=809.17 FEET (NGVD 1929)



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TERRATRON
 340 MAIN SUITE #200
 PARK CITY, UT 84060

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SUBMITTAL/REVISIONS

4-28-16	CITY SUBMITTAL
05-11-16	DRC SUBMITTAL

PROFESSIONAL SIGNATURE
 I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
 License No. 45861
 Date 05-11-16

QUALITY CONTROL
 Loucks Project No. 146728
 Project Lead NMM
 Drawn By TRG
 Checked By TDG
 Review Date 05-11-16

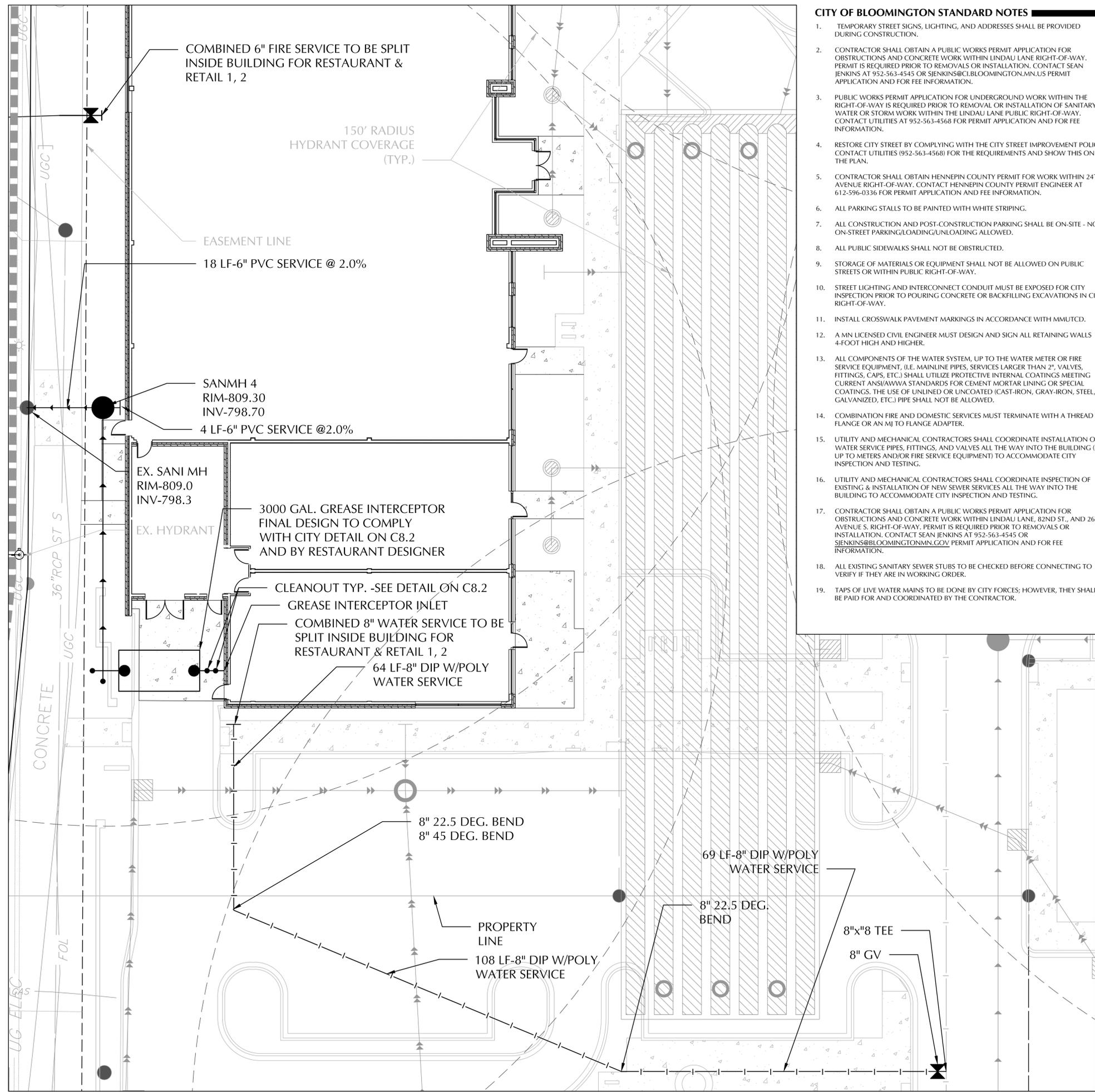
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C2-2	OVERALL SIGNAGE PLAN
C3-1	GRADING & DRAINAGE PLAN
C3-2	SWPPP PLAN
C4-1	UTILITY PLAN (SANI. & WATER)
C4-2	UTILITY PLAN (STORM)
C8-1	DETAIL SHEET
C8-2	DETAIL SHEET

STORM WATER POLLUTION PREVENTION PLAN
C3-2

Plotfile: 05/10/2016 11:57 PM W:\2014\146728\CADD DATA\CIVIL.dwg Sheet File:C3-2

Plotted: 05/11/2016 12:23 AM W:\2014\146728\CADD DATA\CIVIL.dwg Sheet: Files\C4-1



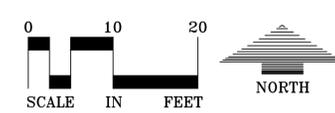
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18. ALL EXISTING SANITARY SEWER STUBS TO BE CHECKED BEFORE CONNECTING TO VERIFY IF THEY ARE IN WORKING ORDER.
19. TAPS OF LIVE WATER MAINS TO BE DONE BY CITY FORCES; HOWEVER, THEY SHALL BE PAID FOR AND COORDINATED BY THE CONTRACTOR.

UTILITY PLAN NOTES

1. ALL SANITARY SEWER, STORM SEWER AND WATERMAIN UTILITIES SHALL BE FURNISHED AND INSTALLED PER THE REQUIREMENTS OF THE SPECIFICATIONS, THE CITY AND THE STANDARD UTILITIES SPECIFICATION OF THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM), 1999 EDITION.
2. SEE DETAIL SHEET AND THE CONTRACT SPECIFICATIONS FOR SPECIFIC UTILITY DETAILS.
3. ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CITY. THE CITY DEPARTMENT OF ENGINEERING AND BUILDING INSPECTIONS DEPARTMENT AND THE CONSTRUCTION ENGINEER MUST BE NOTIFIED AT LEAST 48 HOURS PRIOR TO ANY WORK WITHIN THE PUBLIC RIGHT OF WAY, OR WORK IMPACTING PUBLIC UTILITIES.
4. THE CONTRACTOR SHALL NOTIFY GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS PRIOR TO PERFORMING ANY EXCAVATION OR UNDERGROUND WORK.
5. THE CONTRACTOR SHALL FIELD ADJUST WATERMAIN TO AVOID CONFLICTS WITH SANITARY SEWER, STORM SEWER, AND SERVICES AS REQUIRED.
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7. ALL UTILITY PIPE BEDDING SHALL BE COMPACTED SAND OR FINE GRANULAR MATERIAL PER THE REQUIREMENTS OF THE CITY. ALL COMPACTION SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CEAM SPECIFICATION.
8. ADJUST ALL EXISTING STRUCTURES, BOTH PUBLIC AND PRIVATE TO THE PROPOSED GRADES WHERE DISTURBED AND COMPLY WITH ALL REQUIREMENTS OF THE UTILITY OWNERS. STRUCTURES BEING RESET TO PAVED AREAS MUST MEET OWNERS REQUIREMENTS FOR TRAFFIC LOADING.
9. ALL NEW WATERMAIN AND SERVICES MUST HAVE A MINIMUM OF 8.0 FEET AND A MAXIMUM OF 10 FEET OF COVER.
10. PROPOSED PIPE MATERIALS:

STORM SEWER PERFORATED	ALUMINIZED CSP, OR HDPE-INFILTRATION SYSTEM ONLY	48" DIAMETER
STORM SEWER	DUAL WALL HDPE	12" TO 24" DIAMETER
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STORM SEWER	SCHEDULE 40 PVC	8" DIAMETER
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SANITARY SEWER	SCHEDULE 40 PVC SDR 26	8" DIAMETER
SANITARY SEWER	PVC	4" TO 8" DIAMETER
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12. ALL JOINTS AND CONNECTIONS IN THE STORM SEWER SYSTEM SHALL BE GASTIGHT OR WATERTIGHT (SEE MINNESOTA RULES, PART 4715.0700). APPROVED RESILIENT RUBBER JOINTS MUST BE USED TO MAKE WATERTIGHT CONNECTIONS TO MANHOLES, CATCHBASINS, AND OTHER STRUCTURES.
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ALPHA B RESTAURANT
 BLOOMINGTON, MN

TERRATRON
 340 MAIN SUITE #200
 PARK CITY, UT 84060

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05-11-16	DRC SUBMITTAL

PROFESSIONAL SIGNATURE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

License No. 45861
 Date 05-11-16

QUALITY CONTROL

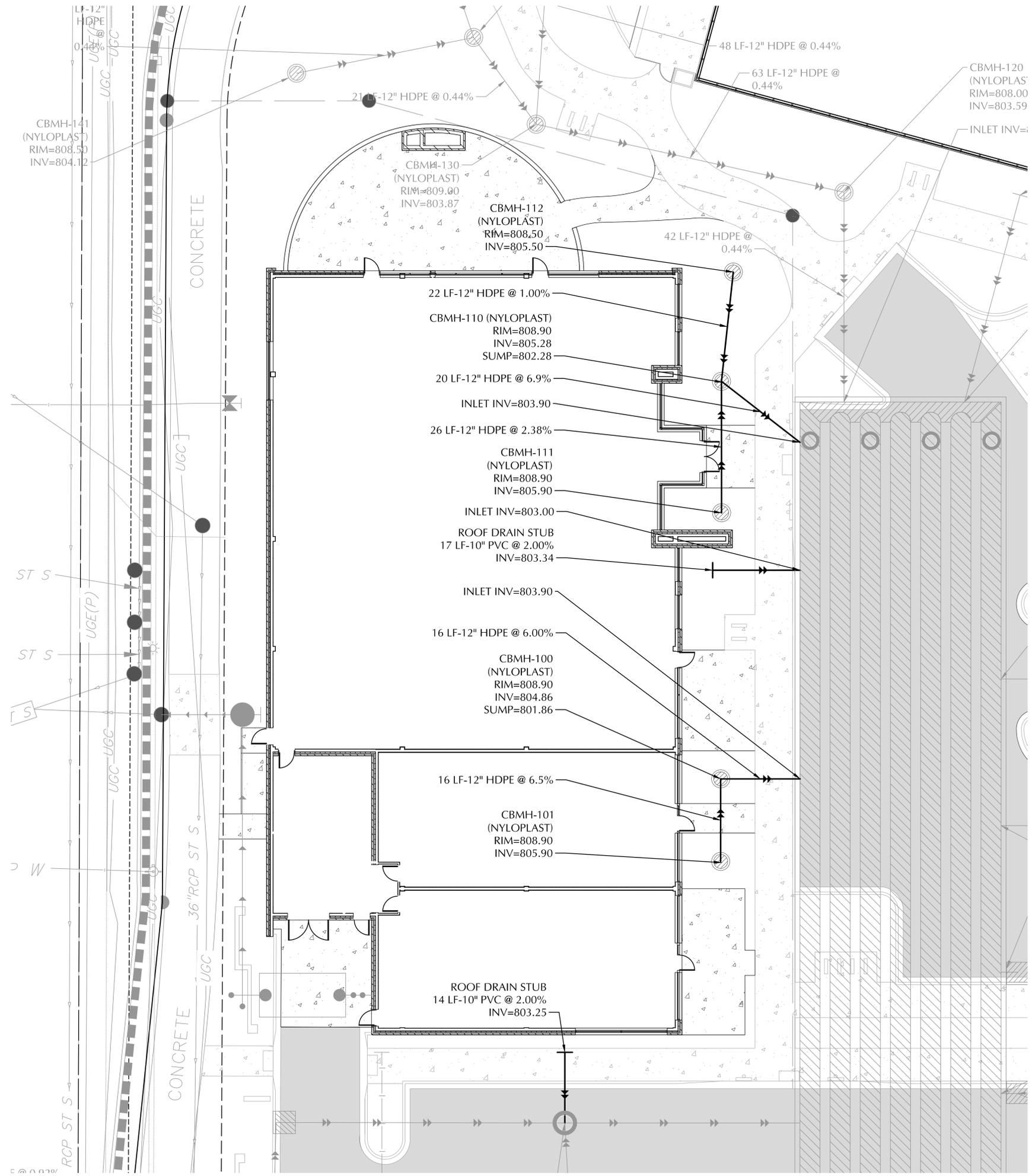
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**UTILITY PLAN
 SANITARY
 SEWER &
 WATERMAIN**

C4-1



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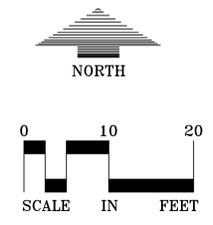
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WARNING:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.



ALPHA B RESTAURANT
BLOOMINGTON, MN

TERRATRON
340 MAIN SUITE #200
PARK CITY, UT 84060

LOUCKS
PLANNING
CIVIL ENGINEERING
LAND SURVEYING
LANDSCAPE ARCHITECTURE
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7200 Hemlock Lane, Suite 300
Maple Grove, MN 55369
763.424.5505
www.loucksin.com

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SUBMITTAL/REVISIONS

4-28-16	CITY SUBMITTAL
05-11-16	DRC SUBMITTAL

PROFESSIONAL SIGNATURE
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
Nicholas M. Munnell
License No. 45861
Date 05-11-16

QUALITY CONTROL

Loucks Project No.	146728
Project Lead	NMM
Drawn By	TRG
Checked By	TDG
Review Date	05-11-16

SHEET INDEX

C2-1	SITE PLAN
C2-2	OVERALL SIGNAGE PLAN
C3-1	GRADING & DRAINAGE PLAN
C3-2	SWPPP PLAN
C4-1	UTILITY PLAN (SANI. & WATER)
C4-2	UTILITY PLAN (STORM)
C8-1	DETAIL SHEET
C8-2	DETAIL SHEET

UTILITY PLAN STORM SEWER
C4-2

Plotfile: 05/10/2016 2:22 PM W:\2014\146728\CADD DATA\CIVIL.dwg Sheet: Files\C4-2

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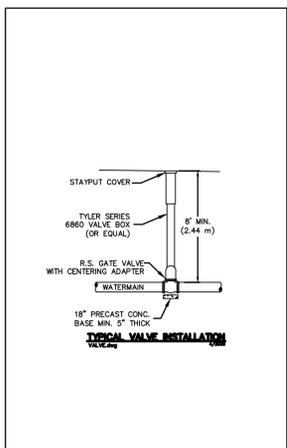
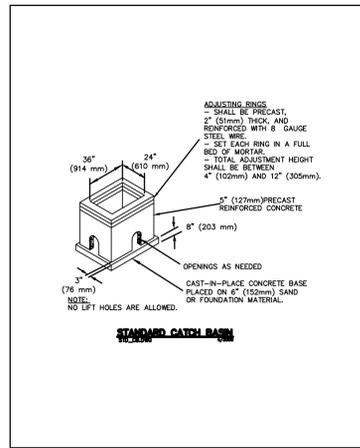
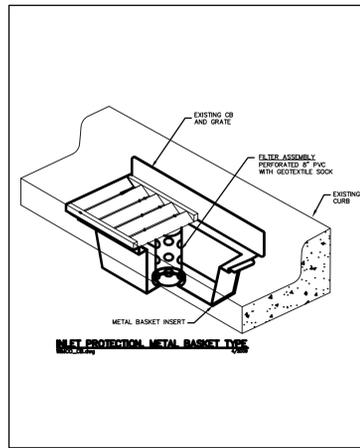
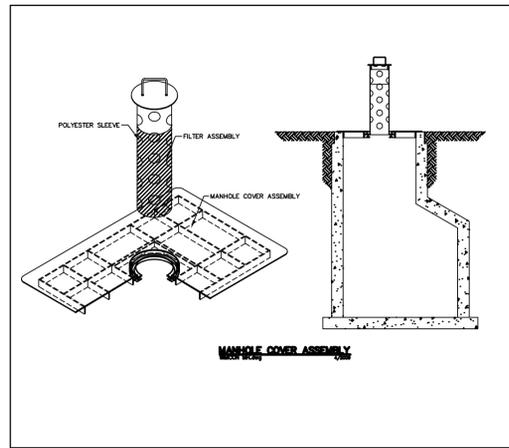
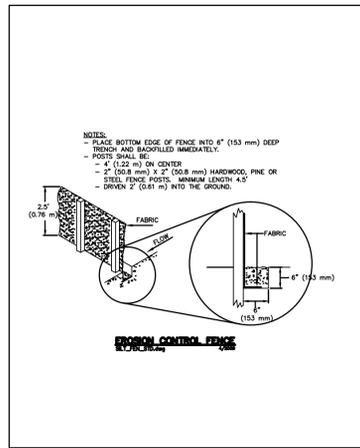
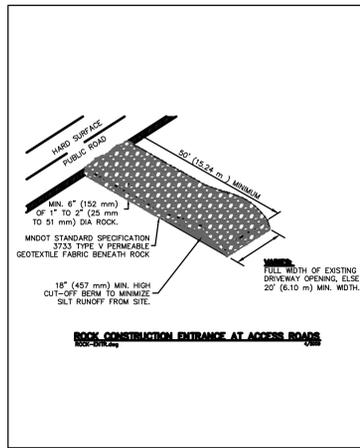
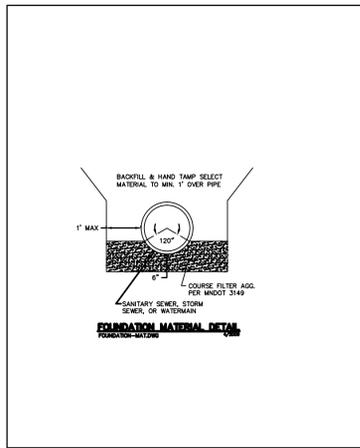
License No. Nicholas M. Mjmmml - PE 45861
Date 05-11-16

QUALITY CONTROL

Looucks Project No. 146728
Project Lead NMM
Drawn By TRG
Checked By TDG
Review Date 05-11-16

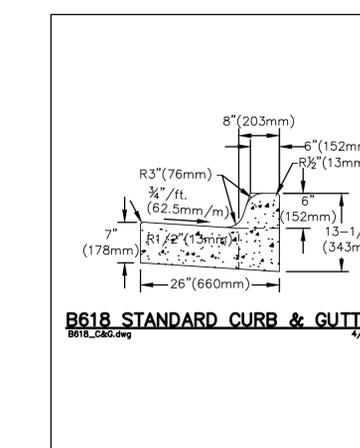
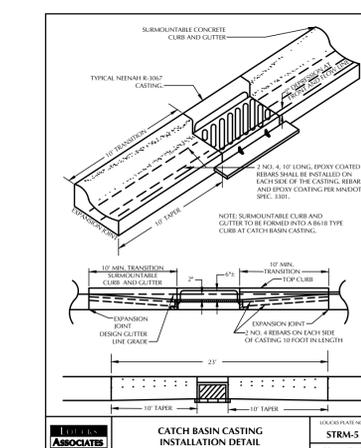
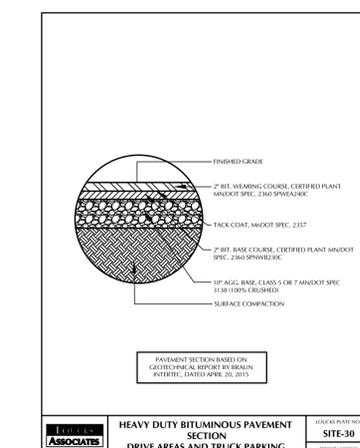
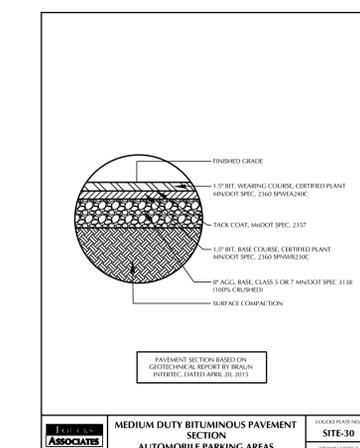
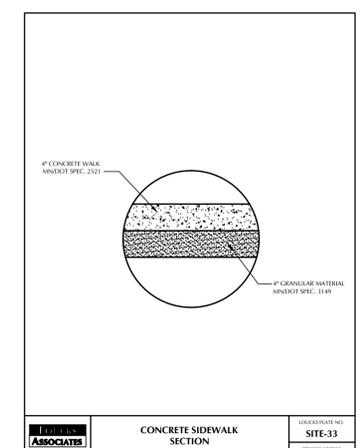
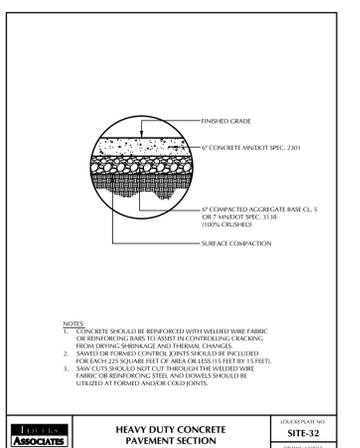
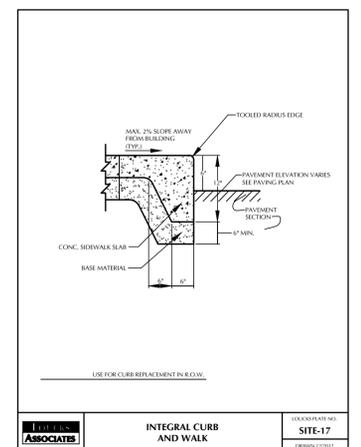
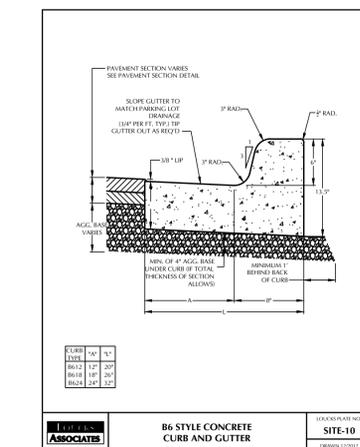
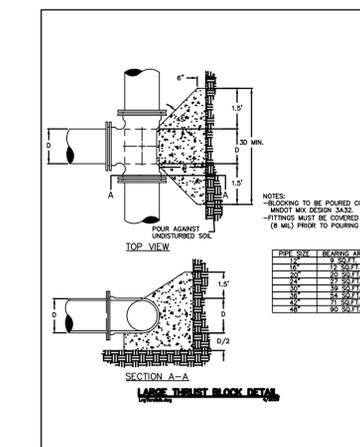
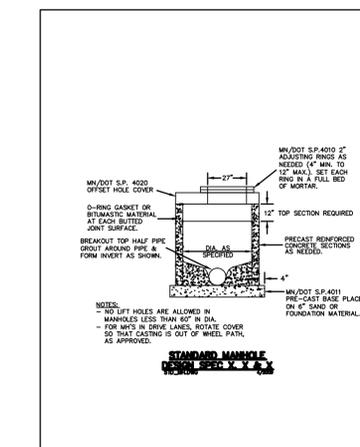
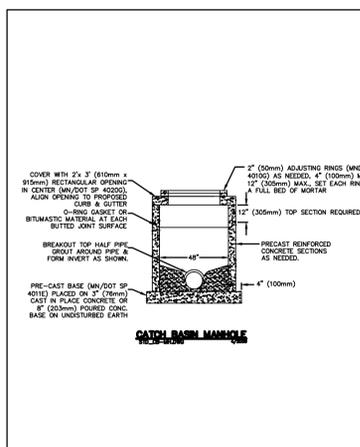
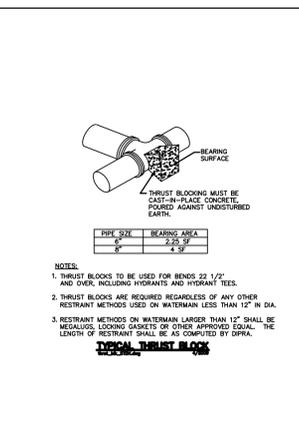
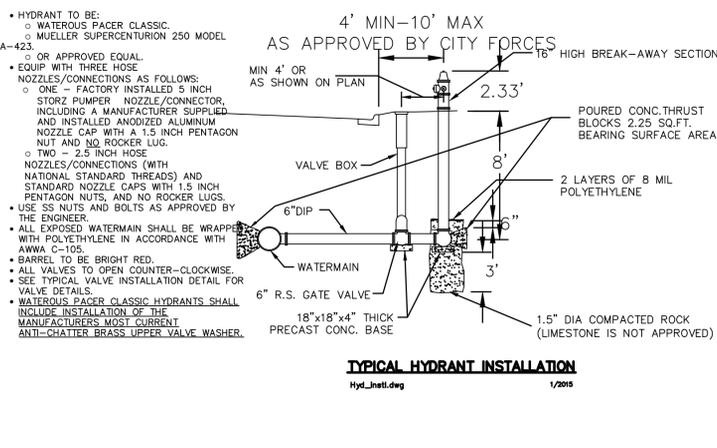
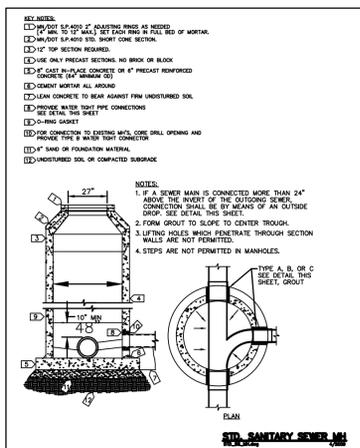
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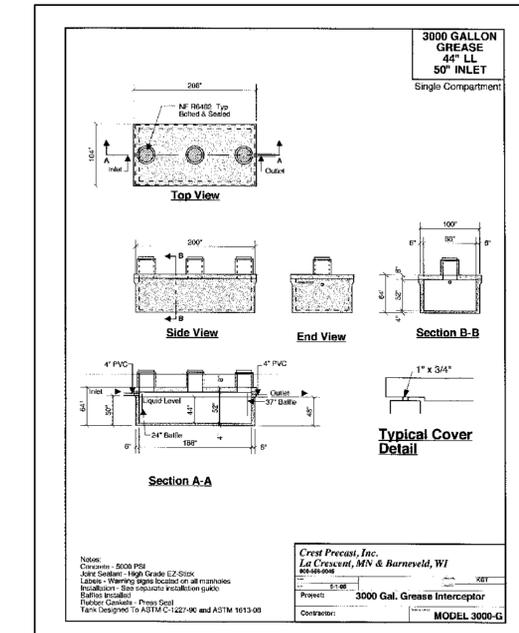
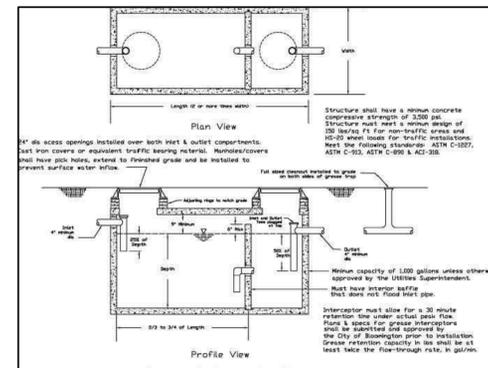
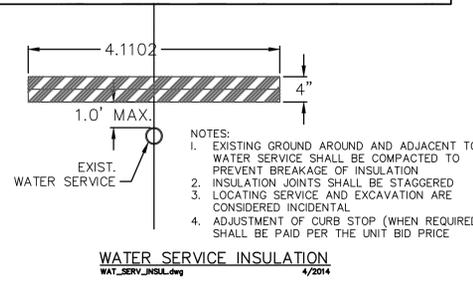
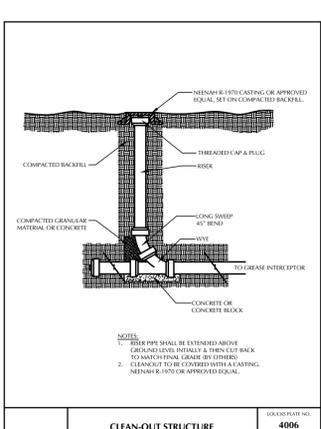
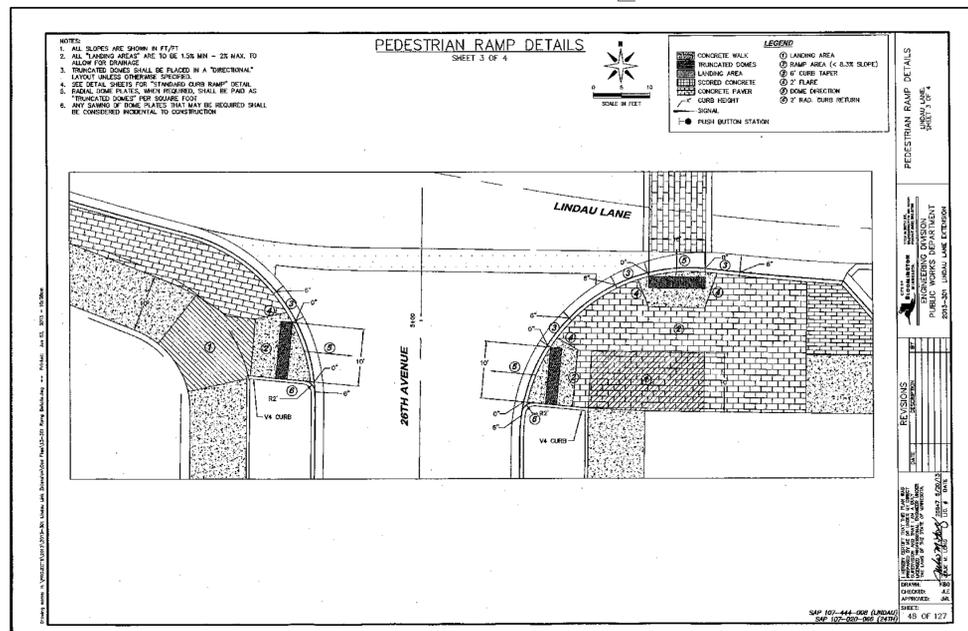
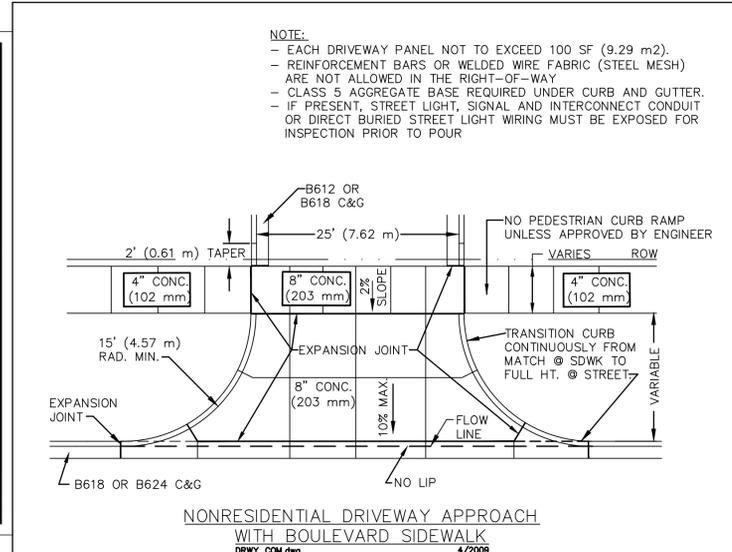
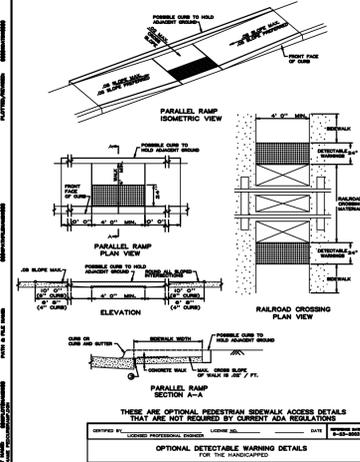
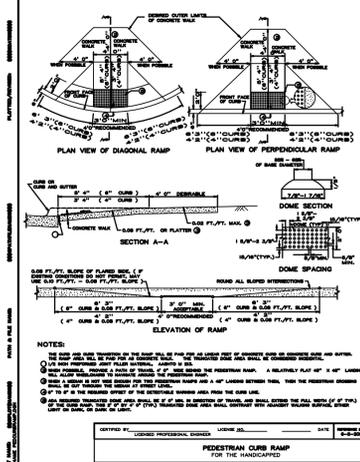
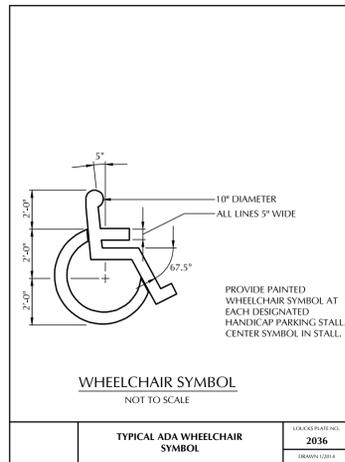
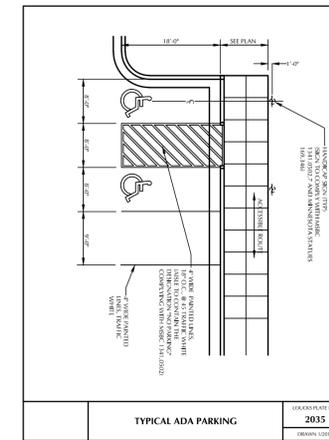
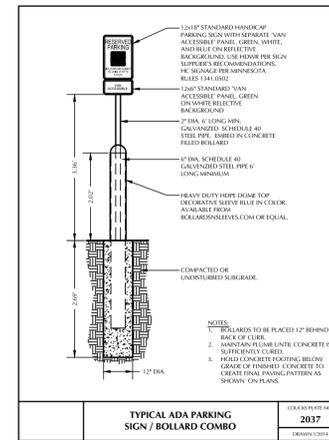
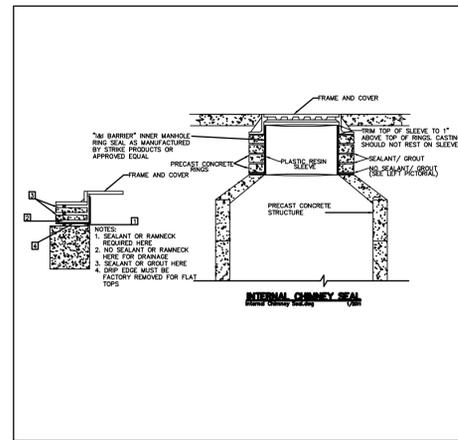
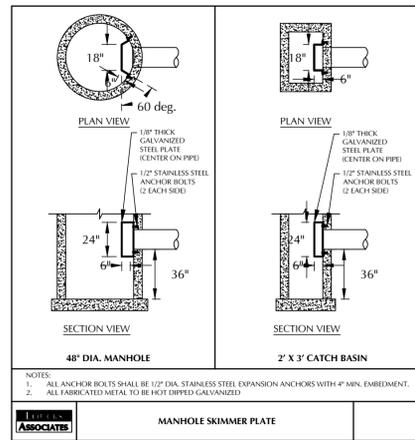
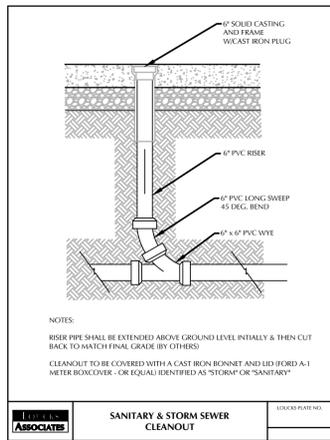
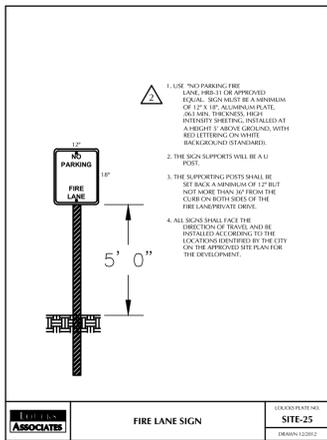
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C4-2 UTILITY PLAN (STORM)
C8-1 DETAIL SHEET
C8-2 DETAIL SHEET



TRUNK INSTALLATION - BEDDING & BACKFILL

PIPE SIZE INCH (METRIC)	7" INCH (METRIC)
12" (305mm)	2.5' (76mm)
15" (381mm)	3.0' (76mm)
18" (457mm)	3.5' (89mm)
21" (533mm)	4.0' (102mm)
24" (610mm)	4.5' (114mm)
27" (686mm)	5.0' (127mm)
30" (762mm)	5.5' (140mm)
33" (840mm)	6.0' (152mm)
36" (914mm)	6.5' (165mm)
42" (1067mm)	7.5' (191mm)
48" (1219mm)	8.5' (216mm)
54" (1372mm)	9.5' (241mm)
60" (1524mm)	10.5' (267mm)





GREASE INTERCEPTOR
EXAMPLE BY CITY
PRECAST INTERCEPTOR
TO COMPLY WITH
REQUIREMENTS
SHOWN HERE

ALPHA B RESTAURANT
BLOOMINGTON, MN

TERRATRON

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PARK CITY, UT 84060

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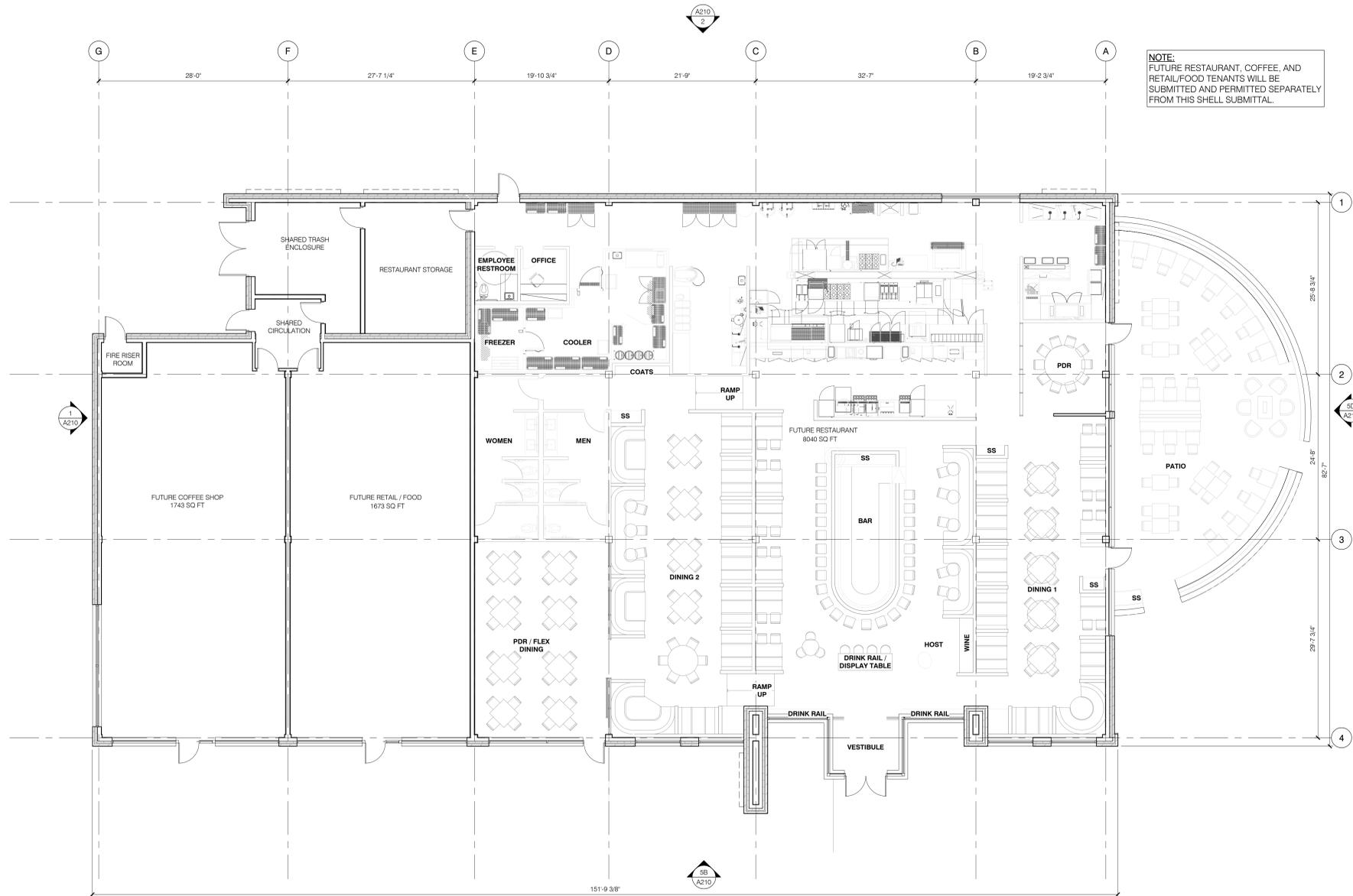
QUALITY CONTROL

Locks Project No. 146728
Project Lead NMM
Drawn by TRG
Checked by TDG
Review Date 05-11-16

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C4-2 UTILITY PLAN (STORM)
C8-1 DETAIL SHEET
C8-2 DETAIL SHEET

DETAIL SHEET
C8-2



NOTE:
 FUTURE RESTAURANT, COFFEE, AND
 RETAIL/FOOD TENANTS WILL BE
 SUBMITTED AND PERMITTED SEPARATELY
 FROM THIS SHELL SUBMITTAL.

FLOOR PLAN NOTES

- THE GENERAL CONTRACTOR IS RESPONSIBLE TO PROVIDE AND INSTALL ALL BLOCKING AND GROUNDS AS REQUIRED FOR THE INSTALLATION OF WINDOW BLINDS, DRAPERIES, CURTAINS, MILLWORK AND ANY HANGING OBJECTS TO BE INSTALLED.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF EXISTING FLOORING DOWN TO THE SLAB IN ALL AREAS WHERE NEW PARTITIONS ARE BEING INSTALLED, UNLESS OTHERWISE NOTED.
- WHERE METAL AND GLASS PARTITIONS ARE SPECIFIED, G.C. SHALL BE RESPONSIBLE TO PROVIDE FOR ANY LEVELING OF THE SLAB AS MAY BE REQUIRED FOR A PLUMB, LEVEL INSTALLATION.
- ALL EXISTING CONSTRUCTION TO REMAIN SHALL BE PATCHED AND REPAIRED AS REQUIRED AND PREPARED TO RECEIVE NEW FINISHES PER FINISH PLAN.
- ALL SURFACES OR FINISHES TO REMAIN, IF DAMAGED DURING DEMOLITION OR ANY STAGE OF THE WORK, SHALL BE REPAIRED BY THE GENERAL CONTRACTOR AT THEIR OWN EXPENSE TO LIKE NEW CONDITION. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO DOCUMENT ANY PREEXISTING DAMAGE AND NOTIFY THE ARCHITECT OF ANY SUCH DAMAGE PRIOR TO PRICING OR BIDDING.
- AT ALL LOCATIONS WHERE NEW ELECTRICAL AND VOICEDATA OUTLETS OR ANY OTHER TYPE OF DEVICE IS TO BE INSTALLED AT EITHER CORE WALL, COLUMNS AND/OR PERIMETER WALLS, THE CONTRACTOR AND THEIR DRYWALL SUBCONTRACTOR ARE TO INCLUDE FURRING OUT THESE CORE WALLS AND COLUMNS AS NEEDED USING 2-1/2" METAL STUDS WITH 5/8" GYPSUM BOARD FROM SLAB TO 6" ABOVE FINISHED CEILING IN ORDER TO ACCOMMODATE ANY AND ALL CONDUITS AND BACK BOXES. G.C. TO COORDINATE WITH ALL OTHER TRADES.
- MOUNTING HEIGHTS: ALL STROBES, PULL BOXES, FIRE EXTINGUISHERS, SIGNAGE, INCLUDING ALL ELEVATOR CALL BUTTONS AND INDICATOR LIGHTS, ETC. TO REMAIN ARE TO BE RAISED OR LOWERED TO SPECIFIED MOUNTING HEIGHTS IN AREAS OF WORK, AS PER CODE.
- DIMENSIONS ARE FROM FACE OF GYPSUM BOARD TO FACE OF GYPSUM BOARD UNLESS NOTED OTHERWISE. DO NOT SCALE OFF OF PLANS. CONTACT ARCHITECT WITH DIMENSION QUESTIONS.
- ALIGN NEW PARTITION WITH FACE OF EXISTING PARTITION OR COLUMN, UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS PRIOR TO SUBMISSION OF BID.
- THE CONTRACTOR SHALL TAKE OUT ALL NECESSARY PERMITS, INSURANCE, LICENSEES AND CERTIFICATES AND PAY ALL FEES CONNECTED THEREWITH.
- CONTRACTOR TO PROVIDE DUST PROOF, RIGID BARRIERS, AS APPROPRIATE TO DEFINE VARIOUS SECTIONS, BARRIERS TO MAINTAIN EXITS, SECURITY, MECHANICAL, FIRE-LIFE SAFETY REQUIREMENTS FOR BUILDING OCCUPANTS.
- THE CONTRACTOR AT ALL TIMES SHALL KEEP PREMISES FREE FROM WASTE MATERIALS AND RUBBISH CAUSED BY THE WORK.
- ALL DOORS AND HARDWARE SHALL BE IN COMPLIANCE WITH APPLICABLE ACCESSIBILITY CODES AND ORDINANCES. ALL WORK TO BE DONE IN COMPLIANCE WITH THE LATEST LOCAL AND STATE BUILDING CODES AND ORDINANCES.
- REFER TO ENGINEERING DRAWINGS (OR DESIGN BUILD M.E.P.) FOR MECHANICAL, ELECTRICAL, PLUMBING AND SPRINKLER LAYOUTS.
- LOCATE FIRE EXTINGUISHERS THROUGHOUT AS REQUIRED BY CODE.
- ON COMPLETION OF THE PROJECT, CONTRACTOR SHALL WASH/CLEAN ALL SURFACES AND LEAVE THE WORK IN A CLEAN CONDITION.
- SET FLOOR DRAINS AND FLOOR SINKS WITH TOP OF FINISH TILE/POURED FLOOR. SEE PLUMBING DRAWINGS.
- SLOPE CONCRETE FLOOR 1" SO TOWARDS FLOOR DRAINS AND AWAY FROM ALL WALLS.
- 24"x24" AREA AT FLOOR DRAINS TO SLOPE AT 1/4" PER FOOT.
- XXXX

#	NO.	DESCRIPTION	REV.
1	A110	DESCRIPTION 1	



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 Minneapolis, MN 55402

1 612 339-2257
 f 612 349-2930
 sheadesign.com

consultant
 LOUCKS
 7200 HEMLOCK LANE, SUITE 300
 MAPLE GROVE, MN 55369

LASTUDIO
 15200 52ND AVE SOUTH, SUITE 210
 SEATTLE, WA 98188

project title
 NOVA GROUP MOA SHELL
 8150 26th AVENUE SOUTH
 ALPHA B SITE
 BLOOMINGTON, MN

client
 NOVA GROUP

FORMAL DRC SUBMISSION
 2016.05.11

no.	date	issued for

project no.	date
7357.00	2016.05.11
Drawn	checked
BMD	DAS

sheet title
 FLOOR PLAN

A110

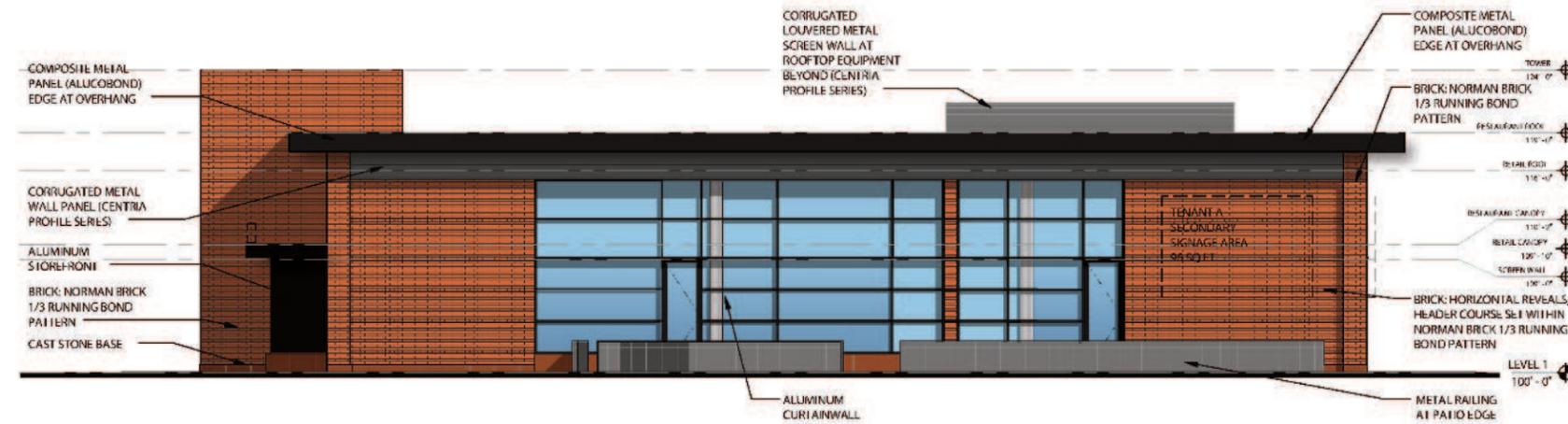
1 FLOOR PLAN - FIRST FLOOR
 SCALE: 1/8" = 1'-0"

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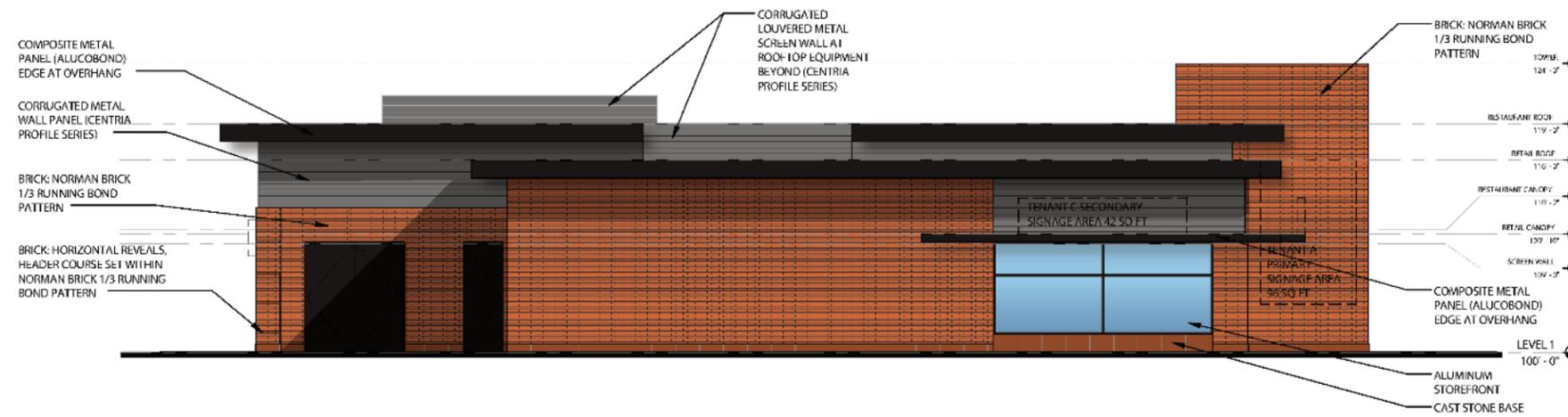
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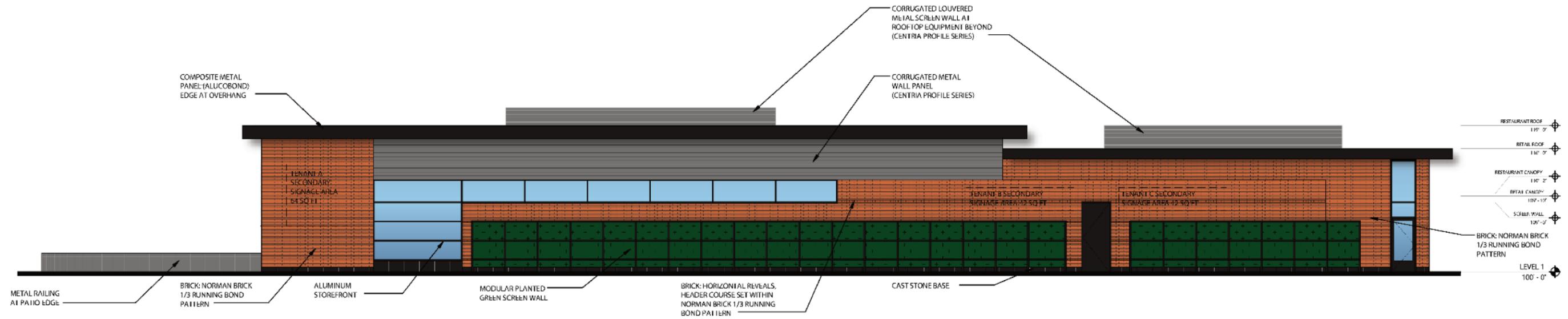
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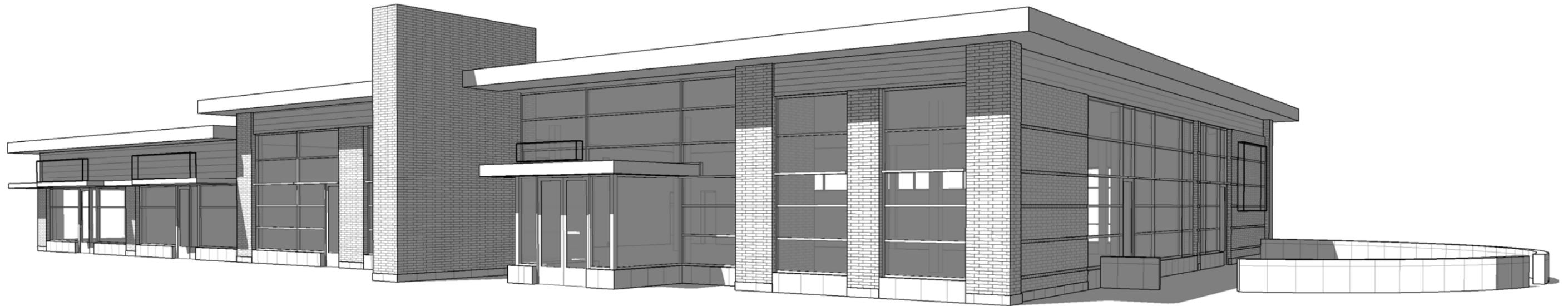


South Elevation



West Elevation





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NOVA GROUP MOA SHELL

7357.00

05.11.16

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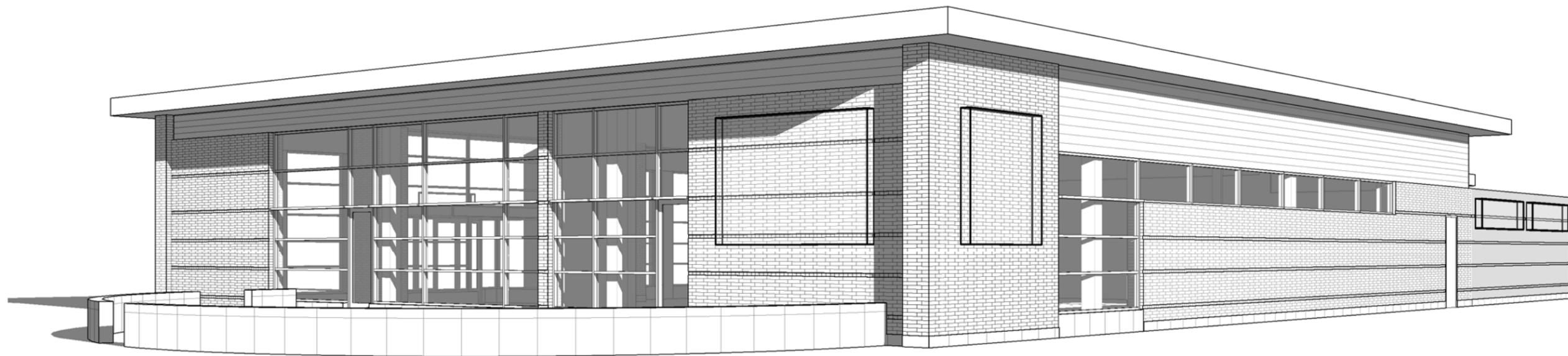
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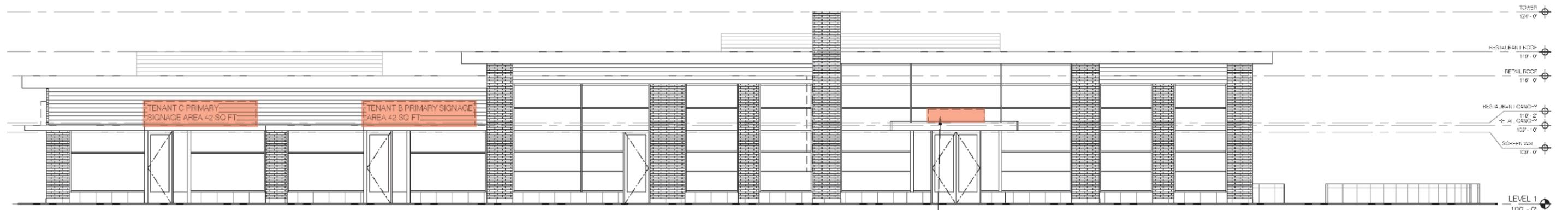
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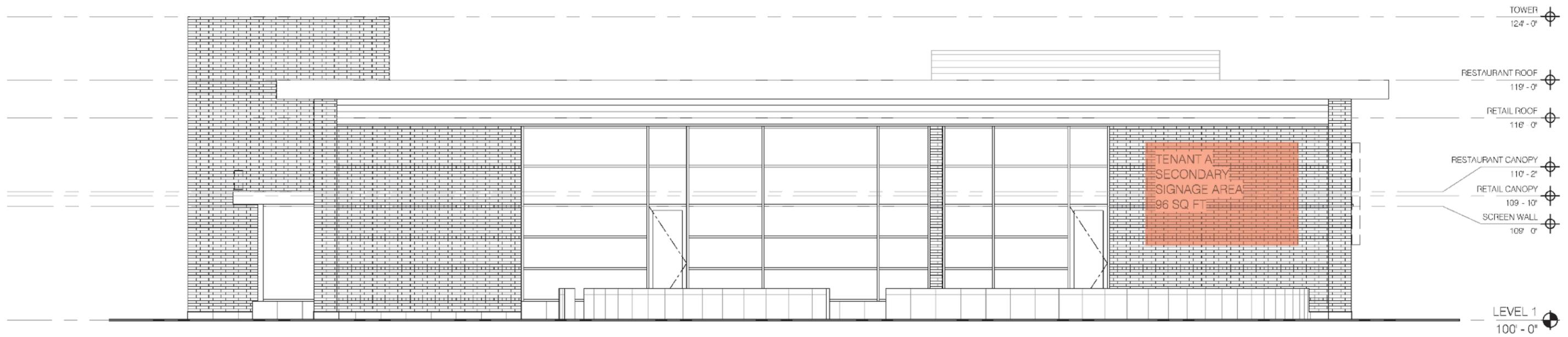
EAST ELEVATION

TENANT A PRIMARY SMALL
SIGNAGE AREA 11 SQ FT

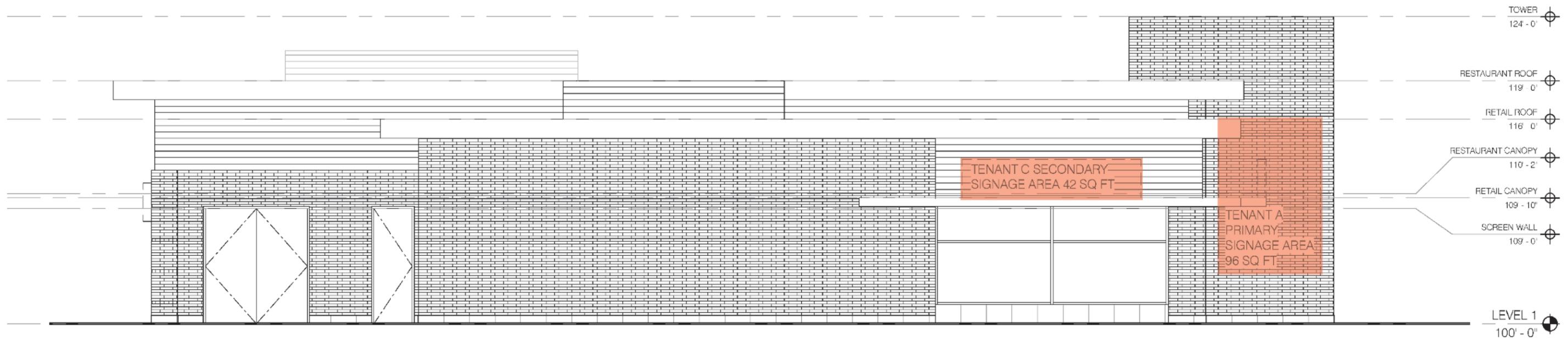
TENANT C PRIMARY
SIGNAGE AREA 42 SQ FT

TENANT B PRIMARY SIGNAGE
AREA 42 SQ FT

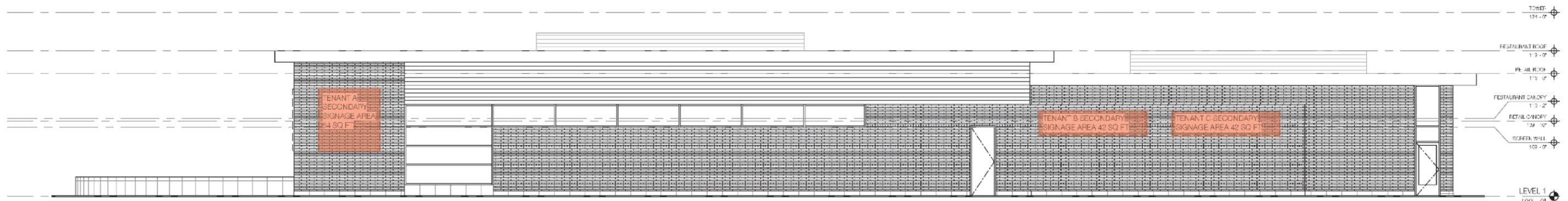
- TOWER
124'-0"
- H-RAIL/RAIL ROOF
119'-0"
- RETAIL ROOF
116'-0"
- H-RAIL/RAIL CANOPY
110'-0"
- H-RAIL CANOPY
107'-10"
- SCREEN WALL
103'-0"
- LEVEL 1
100'-0"



NORTH ELEVATION



SOUTH ELEVATION



WEST ELEVATION



LOUCKS

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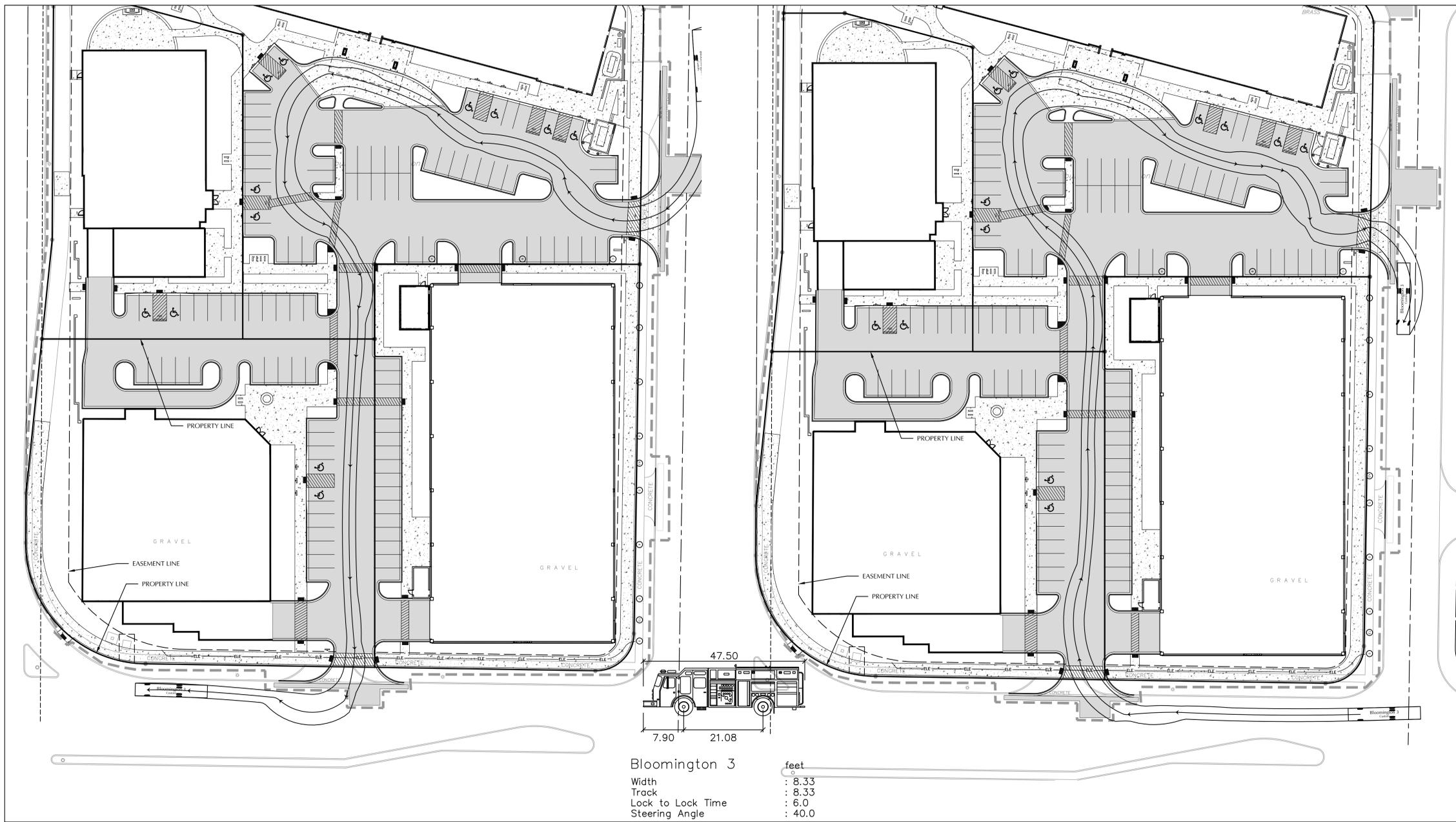
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I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Nikolaus M. Rühmel
Nikolaus M. Rühmel - PE
43801 11/17/15
License No. Date

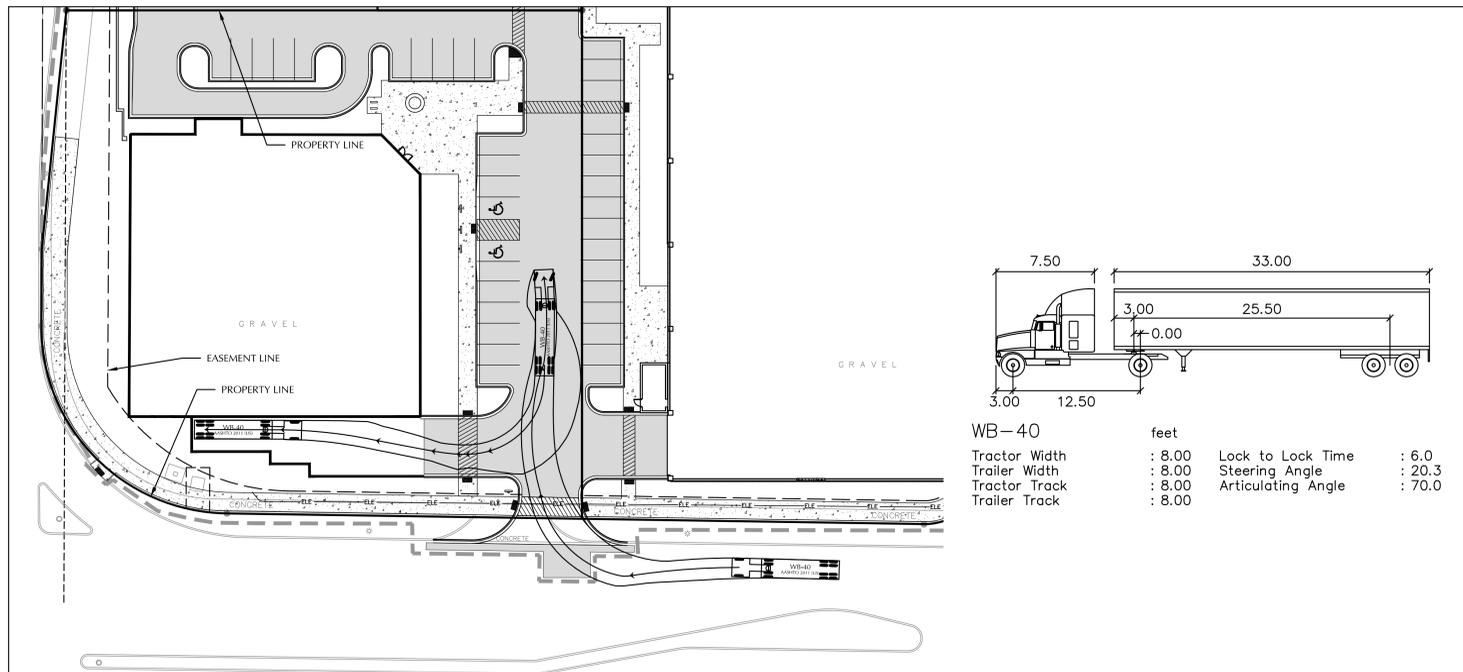
Sheet Index:

C0-1	COVER SHEET
L0E-1	PRELIMINARY & TOPOGRAPHIC SURVEY
C1-2	DEMOLITION PLAN
C2-1	SITE PLAN
C2-2	FIRE TRUCK MOVEMENT PLAN
C2-3	MASTER SIGNAGE PLAN
C2-4	PHASING PLAN
C2-5	UTILITY - TRAFFIC CONTROL PLAN
C2-6	SEWER/ALK - TRAFFIC CONTROL PLAN
C3-1	GRADING & DRAINAGE PLAN
C3-1A	GRADING PLAN ENLARGEMENT
C3-2	STORM WATER POLLUTION PREVENTION PLAN
C4-1	UTILITY PLAN
C4-2	STORM SEWER PLAN
C8-1,2	DETAIL SHEETS



Bloomington 3 feet

Width	: 8.33
Track	: 8.33
Lock to Lock Time	: 6.0
Steering Angle	: 40.0



WB-40 feet

Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.00	Steering Angle	: 20.3
Tractor Track	: 8.00	Articulating Angle	: 70.0
Trailer Track	: 8.00		

CONSTRUCTION SET
11-17-15

ORIGINAL ISSUE: 03/04/15

REVISIONS

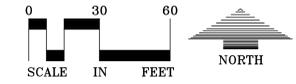
No.	Description	Date
1	DRG SUBMITTAL	03/04/15
2	DRG RE-SUBMITTAL	03/12/15
3	SD SUBMITTAL	04/03/15
4	DD SUBMITTAL	05/27/15
5	SITE PRICING SET	06/17/15
6	DD - PARKING RAMP	07/07/15
7	RESPONSE TO DRG COMMENTS	07/10/15
8	CONSTRUCTION DRAWINGS	08/17/15
9	PERMIT SET	08/28/15
10	REVISED PERMIT SET	10/02/15
11	REVISED PERMIT SET	10/16/15
12	CONSTRUCTION SET	11/17/15

LOUCKS #014672
ESG #215303

PROJECT NUMBER

TRG DRAWN BY
TDC CHECKED BY

KEY PLAN



BENCHMARK
TOP NUT HYDRANT LOCATED IN THE NORTHWEST QUADRANT OF 26TH AVE. S. & 62ND ST. ELEVATION=809.17 FEET (NGVD 1929)

WARNING:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.



TRUCK MOVEMENT PLAN
C2.2



Development Review Committee

Approved Minutes

Development Application, #PL2016-85
Mtg Date: May 24, 2016
McLeod Conference Room
Bloomington Civic Plaza
1800 West Old Shakopee Road

Staff Present:

Laura McCarthy (Fire Prev, Chair) 952-563-8965	Heidi Miller (Police) 952-563-4975
Jen Desrude (Eng.) 952-563-4862	Michael Centinario (Planning) 952-563-8921
Eric Wharton (Utilities) 952-563-4579	Todd Angus (Assessing) 952-563-4539
Erik Solie (Env. Health) 952-563-8978	

Project Information:

Project	Alpha B FDP - Restaurant
Site Address	8100 26th Avenue South
Plat Name	LINDAU LINK 2ND ADDITION;
Project Description	Final Development Plan for a restaurant and retail building within the Alpha B development located at 8150 26th Avenue South.
Application Type	Final Development Plan
Staff Contact	Mike Centinario
Applicant Contact	David Peters dpeters@terratron.org (435) 658-2727
PC (tentative)	06/16/2016

Guests Present:

Name	Email
Nick Mannel, Civil Engineer, Loucks	nmannel@loucksinc.com
Breana Detzler, Architect, Shea	breanad@sheadesign.com
David Peters, Developer, Terratron	dpeters@terratron.org

Discussion/Comments:

- Mike Centinario (Planning):
 - Introduced the project and explained this is a final development plan for the retail and restaurant use.
 - The size of the project was previously approved during the preliminary development plan process.
 - The proposed changes do not have to go through the Preliminary PUD process.
- Todd Angus (Assessing):
 - The park dedication issue from the previous meeting has been resolved.
 - The applicant has received credit from an easement to offset the park dedication fees.
 - Applicant questioned how to approach the assessments shared with the different parcels. Angus explained it is too early to comment on this until the plan is fully in place. Assessing needs to look at this more closely before they can say how this will be done for this project.

- Erik Solie (Environmental Health):
 - No additional comments.

Duke Johnson (Building and Inspections)
Not present.

- Laura McCarthy (Fire Prevention):
 - Most of Fire Prevention's concerns were discussed at the previous meeting.
 - Addressing of the buildings was discussed at the previous meeting Fire is working with Engineering and Police on determining the correct addressing for this parcel.
- Heidi Miller (Police):
 - No additional comments.
- Jen Desrude (Engineering):
 - Details need to be addressed on the plan before permits are issued.
 - Questioned if they will be able to meet the parking code or if they will need flexibility. Peters responded they will be very close.
 - Phase I of the project received a very small deviation from parking. It will come down to the number of stalls being constructed in the ramp.
 - The staff report shows a parking deviation. Looking at the tenants coming in the future phases, they may not need the deviation.
 - The developer may be able to reduce the number of seats in the restaurant to reduce parking stalls.
 - Mannel explained there may be some over calculation on the tenant side. Retail may be flexible one way or another. They have 424 stalls proposed.
 - If they have outdoor seating above 20 percent it is counted at the indoor ratio. The Planning Division came up with a requirement of 426 parking spaces. Staff will work with the developer in trying to reduce the number of spaces to come within the Code requirement.
 - The developer needs to make sure the infiltration chamber is protected during construction and should be included on the plan.
 - There is a tree planted over a 36" storm sewer that needs to be corrected along with some other minor issues that need to be looked at.
- Eric Wharton (Utilities):
 - There is a combined 6" fire service at the north building and separate water service on the south. This is one parcel; therefore, single service into the building is required. It should come in from the south and the service from the west should be eliminated.
 - An alternative would be that the service on the west side serve as a fire hydrant lead, however, this may not be feasible because it is too close to the foundation.
 - Another option would be to cut off that service pipe and abandon it.
 - Mannel asked if it would be acceptable to route that pipe to the north and locate a hydrant away from the building foundation. Staff explained this would not improve hydrant coverage and would appear to be a redundant hydrant. Staff would like to have this pipe removed if it is not used.
 - The plan shows hydrant coverage. A water supply needs to be within 50 feet of the entrance.

- Staff will work with the developer for other possible options.
 - A grease interceptor is proposed and an internal piping plan needs to be provided to the City.
 - The size of the interceptor is 3,000 gallons.
- Mike Centinario (Planning):
 - The parking lot and parking structure lighting plan has been approved. A plan will be needed for the restaurant building.
 - The interior trash room issue has been addressed.
 - Staff reviewed the construction staging plan. The developer needs to make sure hotel parking structure is accessible during construction.
 - Staff would like to see an updated landscaping plan for the entire site.
 - Questioned the location of the utility meters. Staff suggested they be screened behind landscaping.
 - Staff will need to review the proposed Centria wall panel for conformance with the City's metals policy. The metals review must be completed before a building permit is issued. Staff will provide the architect with the requirement sheet.
 - The west elevation does not yet meet transparency or exemption requirements. City Code requires that a primary elevation consist of 50 percent transparent windows between 2 and 10 feet. The proposed building consists of about 11 percent. There are a variety of potential options and staff would be happy to meet with the developer to discuss those options.
 - They will not be able to go out to the easement line because the footings have to stay back.
 - The applicant indicated they have already sacrificed hydrants because of the crowding and the corresponding interceptor and lines are looking difficult to construct.
 - There are complications they need to be mindful of. Ideally, there could be some revisions to the west elevation before the Planning Commission reviews this.
 - There was a similar situation at the Hyatt and the developer could talk to them about their issues.
 - Requirement of separating outdoor area where alcohol is served is a licensing issue. There needs to be some type of physical barrier whether it be shrubs, fencing, etc. There needs to be something that differentiates the area.
 - There are questions regarding the master sign element the developer needs to pull together.



Comment Summary

PL201600085

Application #: PL201600085

Address: 8100 26TH AVE S, Unit., BLOOMINGTON, MN 55425.

Request: **Final Development Plan for a restaurant and retail building within the Alpha B development located at 8150 26th Avenue South.**

Meeting: Pre-Application DRC – May 3, 2016
Post Application DRC – May 24, 2016
Planning Commission - June 16, 2016
City Council – June 27, 2016

Planning Review Contact: Mike Centinario at mcentinario@BloomingtonMN.gov, (952) 563-8921

- 1) There is a discrepancy between the number of stalls identified in the project description and what is identified on the plans. Plan sheet C2-1 identifies 421 stalls whereas the project description identifies 425. The four stalls makes a difference whether or not an additional deviation is needed. A deviation for 3 parking stalls has already been approved.
- 2) The west elevation does not yet met transparency or exemption requirements in Section 21.301.03((b)(A) & (D)). City Code requires a that a primary elevation consist of 50 percent transparent windows between 2 and 10 feet. The proposed building consists of about 11 percent. While the horizontal reveals are attractive, more embellishments are needed. The applicant should consider translucent glazing, green screen/planter walls, or display boxes. There is space for building projections towards 24th Avenue, which would create visual interest. While it is not an expectation to have the final design by the time Planning Commission reviews the proposals, revisions/assurances to the west elevation are necessary before the plan is presented to the Planning Commission.
- 3) Parking lot and exterior security lighting must meet Section 21.301.07. There is an approved lighting plan on file for the parking lot, hotel, and parking structure. An updated lighting plan is required for the restaurant building. See City Code Section 21.301.07 for minimum lighting requirements for primary and secondary entrances.
- 4) Interior trash and recycling must be provided. Requirement is met with proposed shared trash facility.
- 5) Prior to the issuance of a building permit, staff will need to review a construction staging plan to identify how construction would not interfere with hotel operations.
- 6) In addition to providing the landscaping plan for the restaurant/retail building, please provide the overall landscaping plan with any/all edits that have been made for the proposed restaurant/retail building

7) Staff must review the proposed Centria wall panel for conformance with our metals policy. A Centria panel is being used for the AC Marriott hotel. Is this the same panel? The metals review must be completed before a building permit is issued.

Building Department Review Contact: Duke Johnson at djohnson@BloomingtonMN.gov, (952) 292-1563

Fire Department Review Contact: Laura McCarthy at lmccarthy@BloomingtonMN.gov, (952) 563-8965

1) See the May 3, 2016 pre-application minutes for initial comments. Auto turn submittal received. No additional comments.

Public Works Review Contact: Jen Desrude at jdesrude@BloomingtonMN.gov, (952) 563-4862

1) Provide civil plans for the project. Plan sheets may include grading, drainage, utility, erosion control, traffic control, civil site, etc.

2) Utility as-builts must be provided prior to issuance of Certificate of Occupancy.

3) A Tier 2 Transportation Demand Management (TDM) checklist is required.

4) Contractor shall obtain a Public Works permit for obstructions and concrete work within the right-of-way. Permit is required prior to removals or installation. Contact Sean Jenkins (952-563-4545, sjenkins@BloomingtonMN.gov) for permit information.

Assessing Review Contact: Kent Smith at ksmith@bloomingtonmn.gov, (952) 563-4975

1) Park Dedication issue from previous meeting has been resolved. Applicant received credit for permanent Public Plaza easement, which more than offset \$15,210 amount originally calculated.

Traffic Review Contact: Jen Desrude at jdesrude@BloomingtonMN.gov, (952) 563-4862

1) Show and label existing street light poles, handholes, conduit, and signal interconnect on the plans. Street lighting and interconnect conduit must be exposed for city inspection prior to pouring concrete or backfilling excavation in city right-of-way.

2) Move landscaping, pond, retaining wall, or other structure out of right-of-way or easement.

3) 15 -bicycle parking spaces shall be provided (i.e., bike rack), for the restaurant/retail building (approx.. 11,456sq/ft)

4) Verify that the details are legible at full size. On sheet 8-2 there is a vast difference in size between the wheelchair symbol and the pedestrian curb ramp. Are they all readable?

5) Maintain minimum 2' clearance to public sidewalks of all above/below ground items. (see redlines)

6) Please note on Site Plans the location of public entrance(s).

7) Furnish a construction traffic control plan. For any sidewalk closures or utility work in right-of-way. Plans shall be reviewed and approved by the City Engineer prior to the issuance of permits.

8) Delete this note #2 and use note 17 instead on several pages (See document mark-up)

Water Resources Review Contact: Jen Desrude at jdesrude@BloomingtonMN.gov, (952) 563-4862

1) After City staff approves the Stormwater Management plans, an extra set of plans and Stormwater Management plan will be needed for submittal to Lower Minnesota Watershed District for review and comment

2) An NPDES construction site permit and SWPPP shall be provided. The name and phone number of party responsible for erosion control shall be included; if greater than, one acre is disturbed. Provide copy of NPDES permit changes

3) Erosion Control Bond required prior to issuance of permits – dollar amount to be determined by Jen Desrude. Contractor to provide bid prices to install, maintain and remove EC devices. Disturbed Area (acres) and Surety Amount

0.00-0.50
\$5,000

0.51-0.75
\$8,000

0.76-1.00
\$11,000

Greater than one acre
\$0.25 per square foot of disturbed area rounded
to the nearest \$1,000 (maximum \$25,000)

4) An Erosion Control Plan shall be provided which includes:
o Notes for maintenance (1/3 capacity, damage, tracking onto streets) and inspection (who is responsible, frequency), etc., consistent with the MPCA Protecting water Quality in Urban Areas BMP Manual (Nov. 2000).
o Protect infiltration system from sediment.

5) Add note to plan - contact Utilities Division (952-563-8777) regarding permit for storm sewer construction.

6) Inspect stormwater system and maintain during construction.

7) How will infiltration chamber be protected until site is stabilized?

8) Tree planted over 36" storm sewer

Utility Review Contact: Jen Desrude at jdesrude@BloomingtonMN.gov, (952) 563-4862

- 1) Two water services to the same building (for the same purpose) are not allowed.
- 2) Hydrant on the west side of the building is too close to the building foundation. If this hydrant really isn't needed abandon the service at the main in 24th Avenue; or provide support at the footing.
- 3) Show water service more clearly on the utility plan C4-1.
- 4) Make sure Bloomington Fire has adequate access to the fire corridor (ie, there is a hydrant within 50')
- 5) Water service must be metered where it enters the building. Plan as shown has a door in the way.
- 6) Check 24th Avenue easements and don't encroach.
- 7) Sewer Availability Charge (SAC) be satisfied. Contact the Met Council at 651-602-1378 for a SAC determination, which is required by the Metropolitan Council Environmental Services.
- 8) Approval of plans and specifications for this development are to be approved by the Minnesota Department of Health (MDH). It is the responsibility of the developer to:

- o Submit the required signed documents and fees to the MDH including the MDH Plan Review Fee Sheet.
- o Provide a copy of the MDH approval letter for the project to the City of Bloomington. Information regarding the MDH Plan Review may be obtained by visiting the MDH Environmental Health Division website:
www.health.state.mn.us/divs/eh/water/planreview/index.html. No permits will be issued before the City has received the MDH Plan Approval Letter. Please note that MDH review may take up to 6 weeks.
(if not already received with master plan)

- 9) A Minnesota Pollution Control Agency (MPCA) Sanitary Sewer Extension or Modification Permit is required for the proposed development. It is the responsibility of the developer to:

- o Complete the application
- o Obtain all necessary signatures (including the signature of the authorized City representative)
- o Submit the application and fee to the MPCA
- o Submit a copy of the application and check to Met Council
- o Submit a copy of the application and check to the City of Bloomington
- o After permit is received submit a copy of the permit to the City of Bloomington

Visit the MPCA website (www.pca.state.mn.us/water/permits/index.html) for application and fee information. No permits will be issued before the City has received a Sanitary Sewer Extension or Modification Permit from the MPCA. Please note that MPCA review may take up to 6 weeks.

(If not already received with master area plan)

10) Any proposed new, or substantial remodel of an existing food service facility must show and adequately designed exterior grease interceptor that receives only kitchen waste, on the plans as prepared and submitted by the design professional. Design of grease interceptor shall conform to "Standard for Pre-Treatment of Sanitary Waste Effluent Containing Fats, Oil, and Grease," as published by the City of Bloomington Utilities Division. Maintenance Schedule/Plan for Grease Interceptor BMP signed by property owner must be filed with the Utilities Division prior to issuance of permit to connect with sanitary sewer system. A copy of the signed agreement, the Grease Interceptor manufacturer's operation and maintenance manual, and continuous maintenance records for the previous twelve (12) months shall be kept on site and available to City of Bloomington staff for review. [Sec. 11.31 (7)]

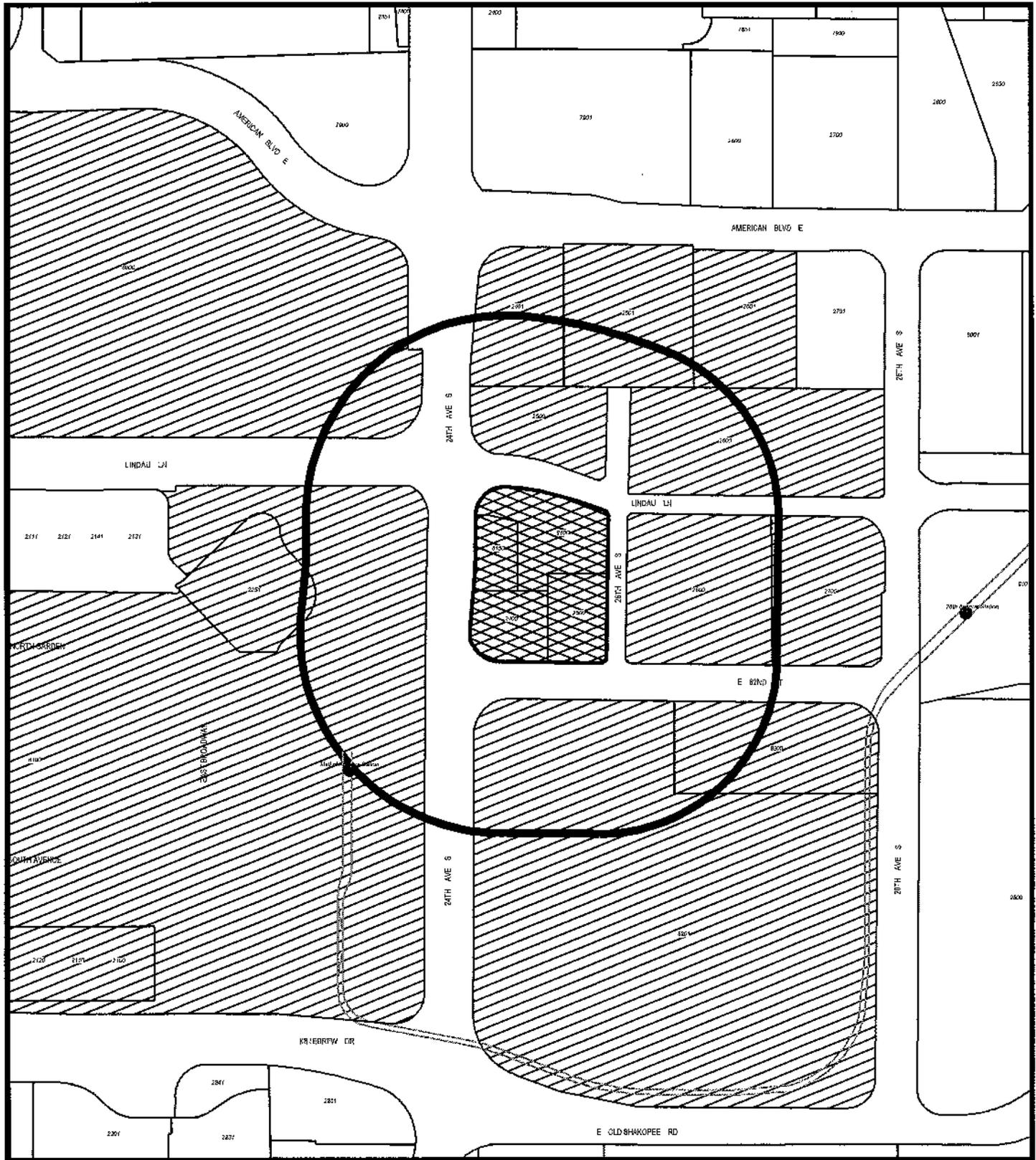
Size of grease interceptor must be coordinated with building and inspection officials (specifically grease laden fixture count compared to state standards).

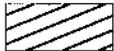
11) Please use the 2013 CEAM Version

Construction/Infrastructure Review Contact: Jen Desrude at jdesrude@BloomingtonMN.gov, (952) 563-4862

- 1) Label as output curb or this flat area will hold water.
- 2) Check grades, there is about 1' difference between proposed and existing.
- 3) Add "or County" to Utility Plan Notes
- 4) On Sheet C8-1, Site 33, is this change necessary? The existing granular is good material that frequently exceeds this spec.
- 5) On Sheet C8-1, Site 10 and the lower left are two details of the same thing?

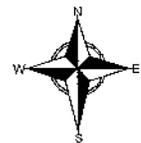
City of Bloomington Notification Map



-  Notification Boundary
-  Applicant Property
-  Notified Properties

Zoning District Boundary
(Labels Refer to Zoning District)

PL2016-85 &
2016-86



(A notice of this application was sent to the registered owner of these properties)

Scale: 1:4800

Plot time: 05/23/2016 11:21:44

AFFIDAVIT OF PUBLICATION

STATE OF MINNESOTA) ss
COUNTY OF HENNEPIN

Charlene Vold being duly sworn on an oath, states or affirms that he/she is the Publisher's Designated Agent of the newspaper(s) known as:

SC Bloomington

with the known office of issue being located in the county of:

HENNEPIN

with additional circulation in the counties of:
HENNEPIN

and has full knowledge of the facts stated below:

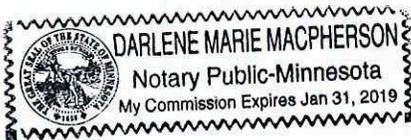
- (A) The newspaper has complied with all of the requirements constituting qualification as a qualified newspaper as provided by Minn. Stat. §331A.02.
- (B) This Public Notice was printed and published in said newspaper(s) once each week, for 1 successive week(s); the first insertion being on 06/02/2016 and the last insertion being on 06/02/2016.

MORTGAGE FORECLOSURE NOTICES
Pursuant to Minnesota Stat. §580.033 relating to the publication of mortgage foreclosure notices: The newspaper complies with the conditions described in §580.033, subd. 1, clause (1) or (2). If the newspaper's known office of issue is located in a county adjoining the county where the mortgaged premises or some part of the mortgaged premises described in the notice are located, a substantial portion of the newspaper's circulation is in the latter county.

By: Charlene Vold
Designated Agent

Subscribed and sworn to or affirmed before me on 06/02/2016 by Charlene Vold.

Darlene M MacPherson
Notary Public



Rate Information:

- (1) Lowest classified rate paid by commercial users for comparable space:
\$34.45 per column inch

Ad ID 554610

CITY OF BLOOMINGTON NOTICE OF PUBLIC HEARING BY THE PLANNING COMMISSION

CASE FILE NUMBER:
PL2016-85
APPLICANT:
South Loop Investments, LLC
PROPERTY ADDRESSES:
8150 26th Avenue South
PROPOSAL: Final Development
Plan for a multi-tenant restaurant
and retail building.

DATE, LOCATION, AND TIME
OF HEARING:
06/16/2016, 6:00 p.m.
City Council Chambers -
Bloomington City Hall
1800 West Old Shakopee Road
City Council consideration date
is announced at the Planning Com-
mission meeting date at which ac-
tion is taken.

HOW YOU CAN PARTICIPATE:
(Please include Case File num-
ber above when corresponding)

1. Submit a letter to the address
below expressing your views;
2. Attend the hearing and give
testimony about the proposal; and/
or
3. Contact the Planning Division
using the information below.

FURTHER INFORMATION:
Mike Centinario, Planner
1800 West Old Shakopee Road
Bloomington, MN 55431-3027
Phone: 952-563-8921
Email:

mcentinario@BloomingtonMN.gov
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