

NSPIRE

THE NEW INSPECTION
PROTOCOL FOR
BLOOMINGTONHRA
RENTAL ASSISTANCE
PROGRAMS



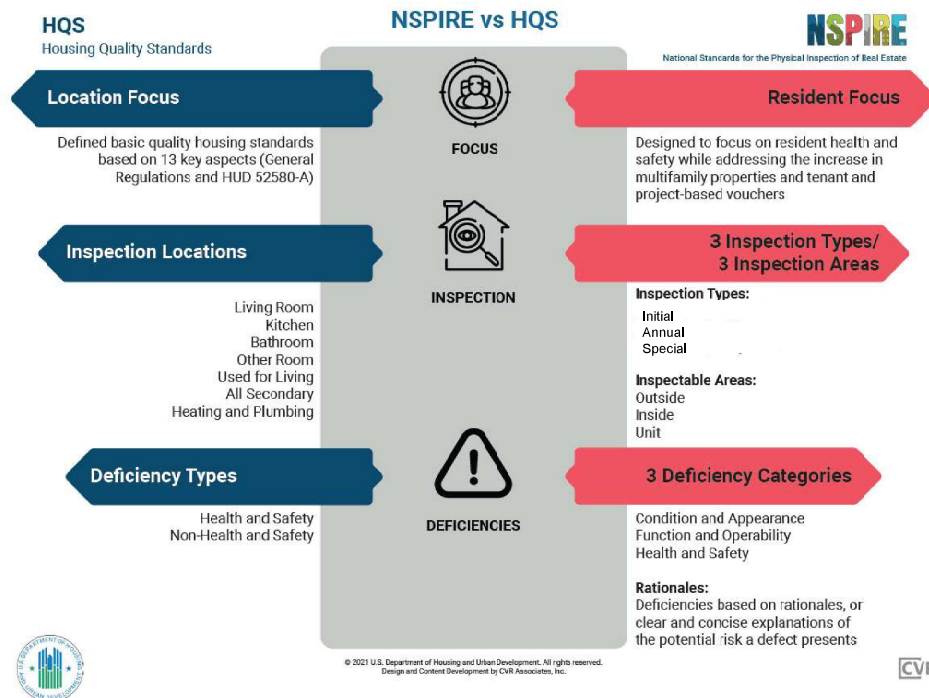
Agenda

- What is NSPIRE
- Inspection Scheduling
- Key Standards to be Aware of
- 24 Hour Fails
- Q&A

WHAT IS NSPIRE?

(NATIONAL STANDARDS FOR THE PHYSICAL INSPECTION OF REAL ESTATE)

- NSPIRE is the new physical inspection model designed to promote HUD's state goal of reducing health and safety hazards in the home.
- Prioritizes the condition of residents' homes and aligns multiple HUD programs to a single set of inspection standards.
- NSPIRE inspections will encourage property owners to adopt maintenance practices to eliminate health and safety hazards that may be a threat to residents.



Inspection Scheduling

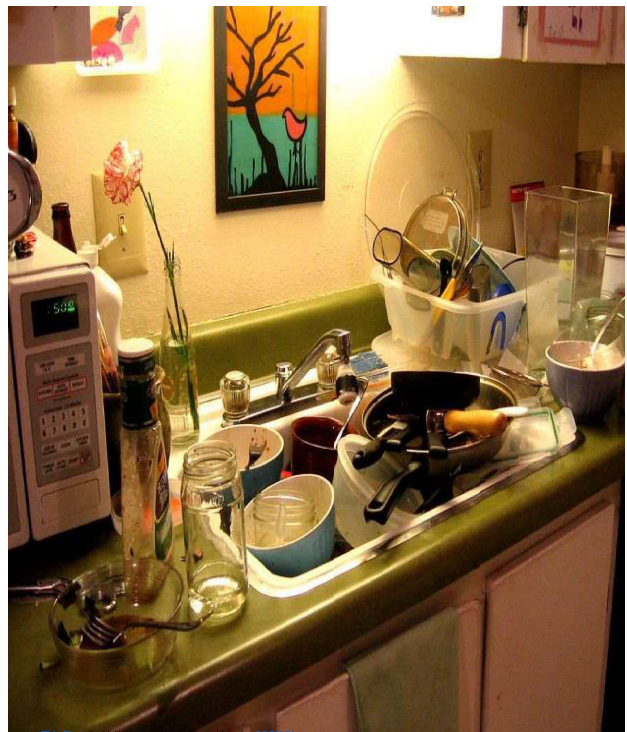
- **Inspections will be scheduled directly through the property owner**
- **Property owner/manager: notifies tenant and is present for inspection**
- If your property has 10 program participants or more: schedule all inspections for the year for the same day(s)- Similar to rental licensing inspections (phasing this in over the next year)
- Inspections are completed for every program participant once every 2 years

HOUSEKEEPING

Good news: No longer does a tenant's housekeeping directly effect the unit's pass or fail by just being littered or poor housekeeping.

Bad news: Indirectly poor housekeeping can cause failures in other areas such as, but not limited to, the following:

1. Range hood vent filter clogged by grease.
2. Bathroom exhaust fan vent obstructed due to lint/debris.
3. Discolored tub or sink.
4. Blocking electric baseboard heaters due to residents' personal property or a hoarding issue.
5. Infestations
6. Mildew
7. Tripping hazards



LITTER

Litter is citable within a yard.

Defects:

- 10 small items (food wrapper, paper etc.) noted within 100sf area.
- Any large item discarded incorrectly (furniture, etc.).
- Includes trash that has been discarded incorrectly (thrown on the ground, stored improperly, etc.).



REFRIGERATORS

Good News: If the gasket is still functioning correctly and there is no defects, it is not a reportable defect. This is because it is not impacting the function of the refrigerator.

****Does not matter who the owner of the refrigerator is, if it is the primary refrigerator, it is inspectable.**

Bad News: If there is other physical damage to the refrigerator, it is a reportable defect. This includes:

1. Not cooling adequately.
2. Seal is sagging, torn or detached impacting function.
3. Component damaged or missing (handle, drawers etc.) impacting function.
4. Water filter is missing or damaged.



CABINETS

Includes Bathroom, Kitchen and Laundry

Defects:

- 50% of the cabinets or components missing/damaged/inoperable.
- No food storage area noted.



KITCHEN VENTILATION

Good News: HUD is not going to inspect self-venting range hoods.

Bad News: If the range hood vents to the outside, it is inspectable. Fans that do only circulate air are not part of the NSPIRE inspection.

Defects:

- Filter missing or damaged.
- Vent is inoperable or part/fully blocked.
- Exhaust duct not securely attached or missing.



BATHROOM VENTILATION

Bathroom ventilation is a requirement

- Ventilation can either be passive (operable window) or mechanical (Mechanical fan).
- If vent is obstructed, inoperable or missing, it is a defect.



INTERIOR DOORS

If the door is damaged only on one side, it is not a defect (this includes animal scratches on the door).

Includes: Bedroom, bathroom and closet doors (not fire and entry doors).

Defects:

- Inoperable/missing or damage compromises privacy.
- Passage door wont open.



WINDOWS

- Good News: "Fogging" is not a defect and aftermarket locks are allowed (if attached to window or frame).
- Sticks are not suitable primary locks.
- Each window needs at least one operable lock.
- Defects:
 - Screen missing with 1" or larger damage.
 - Pane/Sash is missing or damaged (cracks, weatherstrip etc.).
 - Lock Inoperable.
 - Will not open or stay open.
 - No window within sleeping area.

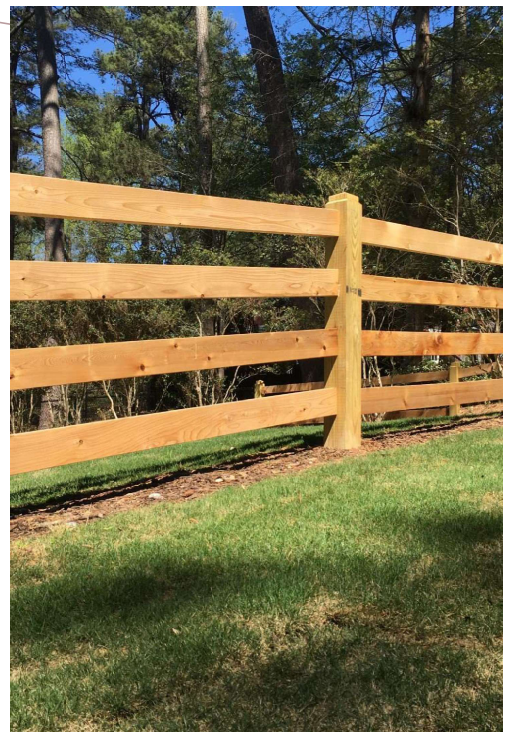


FENCING

Good news: Not all fencing is going to be inspectable under Nspire. (Only fencing that serves a purpose will be inspectable.)

Defects:

- Hole's effecting 10% of a single section (area between two consecutive posts).
- Gate Latch/Lock is inoperable.
- Failing post(s) allowing for instability.



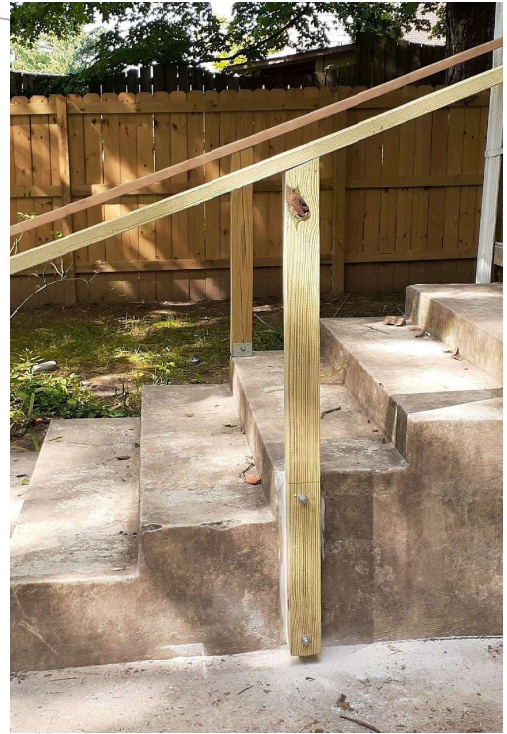
HANDRAILS

Bad News: If ramps are 6 inches tall or 6 feet long, Must have 2 handrails (not just 1).

- One hand-rail for 4 steps or more.
- 2 handrails for ramps.
- Handrails must be between 28" and 42" tall.

Defects:

- Handrail loose at anchor points.
- Required handrail missing.
- Incorrect installation.



GRAB BAR

Good news: The only place that a grab bar is inspectable would be if it is in the bathroom. Although Grab Bars are not a requirement.

Defect:

- Slightly loose



OUTLETS & COVERS

Good News: An ungrounded 3-prong outlet that is GFCI protected is not a defect.

Requirements:

- No missing outlet/outlet covers
- No exposed wire nuts



AUXILIARY LIGHTS

- Good News: You're not required to have them.
- Bad news: If you have an auxiliary light, it has to be operable. If you do have them, you can't remove them.



LIGHT FIXTURES

Fixtures that aren't securely attached to ceiling/wall will create a defect that must be corrected within 30 days. Additionally, assuming there are no sharp hazard issues, globes aren't inspectable.

Defects:

- Fixture inoperable.
- Permanent fixture not present in bath and kitchen.
- Fixture not securely mounted.
- Damaged or missing cover.



EROSION

Good News: Tire truck (rut), washed soil and drip edges are no longer defects!

Defects:

- Erosion under patios.
- Evidence of clogged drains (culvert, swale, ditch etc.)
- Erosion and structure footer/support exposed.
- Erosion is more than 2 feet away and depth of erosion is greater than distance to structure.



GRAFFITI

No Longer is a Defect.



OVERGROWN VEGETATION

Good News: There is no line item for overgrown vegetation through NSPIRE.

BUT some defects may include..

- Vegetation that is blocking a walkway can be reported as a deficiency.
- Not functional (causing severe damage).
- Vegetation that is blocking a house number is reported as a deficiency.



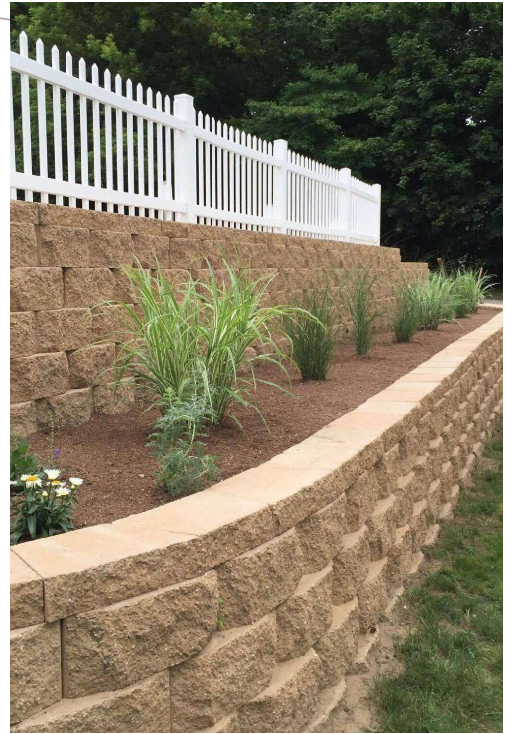
RETAINING WALLS

Good News: HUD is no longer looking for cracks, rotted pieces etc.

HUD inspections now only pertain to 2 Foot (24") walls. This does not include simple raised gardens.

Defects:

- Leaning from fill side
- Portion of the wall is collapsed



INFESTATION

Good News: Also applies on the outside but only for rats (There has to be complete proof of the rat, not just a bait box).

Bad News: Any evidence of infestation is a deficiency now (We don't actually have to see the roaches anymore).

Extensive roach infestation: 3 live roaches simultaneously or at least 1 roach in multiple locations it becomes severe health and safety.

This includes:

- Evidence of roaches
- Evidence of bedbugs
- Evidence of mice/rats
- Evidence of other pests

Outside: Only for evidence rats!



WATER HEATER- TPR VALVE

Defects:

- TPR discharge pipe is less than 2" or more than 6" from floor or top of waste receptor/floor.
- TPR valve is leaking.
- TPR discharge pipe is incorrect material (PVC material).
- TPR valve blocked- cannot fully actuate.
- TPR discharge pipe has upward slope or is damaged or capped.
- No hot water noted.
- Flue misaligned/blocked.
- Gas shut off valve damaged/missing.



HOSE BIBS

Good News: Missing hose bib handles are not a defect.

Bad News: If there is any kind of plumbing issues reported on the outside, including a hose bib, it is a defect.



GARAGE DOORS

Defects:

- Any size penetrating hole noted.
- Door won't open, stay open or close correctly (includes auto openers).

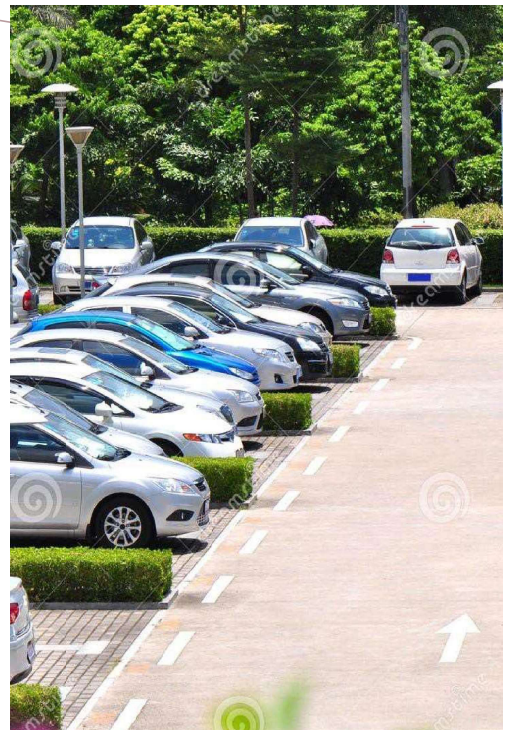


PARKING LOT

Only Includes Owned Lots.

Defects:

- At least 1 pothole 4" deep and 1sf diameter.
- More than 3" of ponding covers more than or equal to 5% of parking.



GUTTERS

Defects:

- Debris limiting the drain or gutter.
- Gutter component missing or not securely attached.
- Gutter component damaged and impacting function.



SHINGLES

Good News: A damaged or missing Shingle is not counted as a defect, even if the shingles look curled.

- If the plywood is showing, it is counted as a defect.



SEVERE DEFICIENCIES 24-HOUR REPAIRS

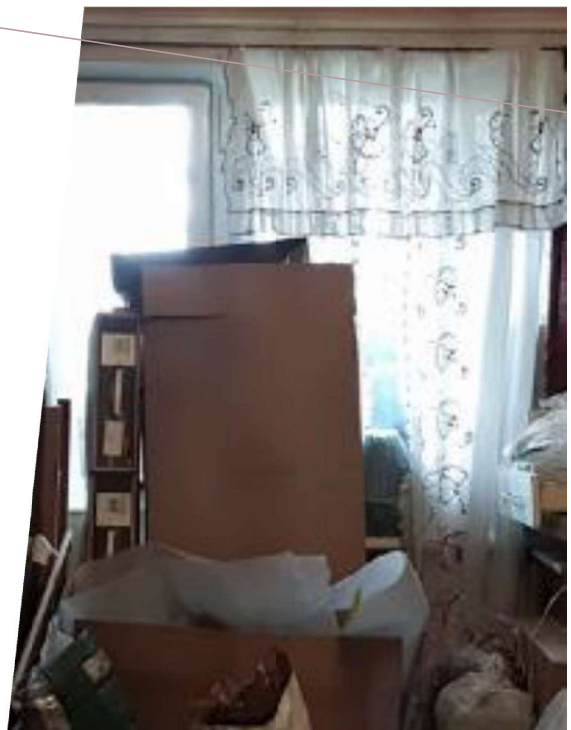
BLOCKED EGRESS

Exit point is obstructed- locked gate, debris, etc. (24-hour repair)

3 points of egress free and clear-

- Exterior doors
 - Bedroom Doors
 - One window in each bedroom
-
- Hud is not concerned about the potential egress out of the living room windows, Kitchen windows etc.

24-Hour Deficiency



SHARP EDGES

- If a sharp edge is not in an area that is normally traveled (sidewalk), it is not a defect.
- If the sharp edge is resident owned (headboard of a bed I broken and has a sharp edge sticking out) it is not a defect.
- If it is a broken window, it is a severe safety hazard (24-hour repair).
- If a sharp edge is noted (likely require medical professional) it is a severe hazard (24-hour repair).



SMOKE DETECTORS

Bad News: By December 2024, national fire alarm and signaling code needs to be hard wired OR have a 10-year Tamper Resistant Battery (NFPA 72).

- Each level of the home needs to have a smoke detector, including the basement.
- Needs to be within 21 feet of each bedroom door inside of the bedroom on each level of the home.
- Between 4 and 12 inches of the ceiling.
- 3 feet away from anything that creates a draft (windows, exterior doors).
- 10 feet away from the stove or range.

Defects:

- Missing/ not installed in proper location (24-hour repair).
- Inoperable (24-hour repair).
- Detector Obstructed (24-hour repair).



CARBON MONOXIDE DETECTOR

Units:

- For units serviced by any fuel-fired (gas, wood, oil etc.) appliance, they must have CO detectors installed within “the immediate area” of sleeping areas.
- CO detector must be installed in units with attached garages.
- Required Inside any sleeping room if a fuel fired appliance installed directly in bedroom/attached bathroom.

Inside/Common Area:

- No “requirement” to install in specific inside spaces. However, if there are CO detectors installed, they will be tested and cited if inoperable or missing with evidence of previous installation.

Defects:

- Missing Detector (24-hour repair).
- Detector Obstructed (paint, tape etc.) – 24-hour repair.
- Detector inoperable.



FIRE-EXTINGUISHER

Good News: Fire Extinguishers are not required, but if present and owned by property, it will be inspected.

Defects (24-hour repair):

- Overcharged or undercharged (dial must be in the green).
- Missing with evidence of prior installation.
- Missing or expired tag.
- Damage impacting function.
- Disposable extinguishers: If manufacture stamp is more than 12 years old.. Deficiency.



EXIT SIGNS

Defects (24-hour repair):

- Obscured from view (décor, plants etc).
- Missing where evidence of previous install.
- Not securely attached.
- No illumination (either internal or adjacent) for 90 minutes in case of power loss.
- Test button (if present) is inoperable.

A new NSPIRE defect to watch for is a loose exit sign (this is a life-threatening concern that must be corrected within 24 hours.



FIRE DOORS

Severe Health and Safety (24 hour Repair):

- Hardware is inoperable or missing (latch, lock strike plate).
- Door will not close or latch.
- Self-closure inoperable.
- Any size hole noted.
- Assembly damaged (glass, frame broken).
- Door Propped open.
- Seal damaged/missing.

All Fire doors need to be in near perfect condition.



FIRE SPRINKLERS

Fire Sprinklers Cannot have any items stored within 18" of the head. This obstruction is a 24-hour fail item.

Other 24-hour fail items:

- Significant paint/foreign material noted on 75% of assembly.
- Cover plate missing.
- Assembly damaged or corroded.



FLAMMABLE MATERIAL

Life Threatening Deficiency

Good News: Radiator heaters are not a defect as they do not get hot enough.

Bad News: Electric Baseboard Heaters are counted as a defect if something is stored within 3 feet of the baseboard heater (24-hour repair).

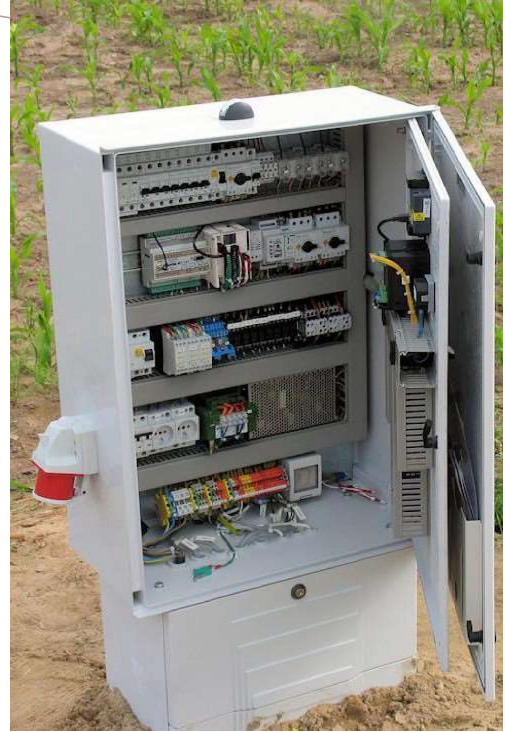
Defects:

- Gas powered equipment stored INSIDE the unit (lawn mower).
- Flammable/combustible items within 3 feet of heat source.



ELECTRICAL ENCLOSURES

- Water intrusion, rust or foreign substance over components.
- Damaged breakers (24-hour repair).
- Foreign material (non-UL listed material) used for repair.



GFCI

Outlets/Switches within 6-feet of a water source (Showers, Bathtubs, sinks, toilets, water faucets including washing machine connections etc.) must be protected by a GFCI. This is now a requirement.

Severe Defects:

- GFCI/AFCI inoperable.
- GFCI missing.
- incorrectly wired outlet.
- Outlet not energized.
- Outlet/switch is broken- no longer safe (24-hour repair).

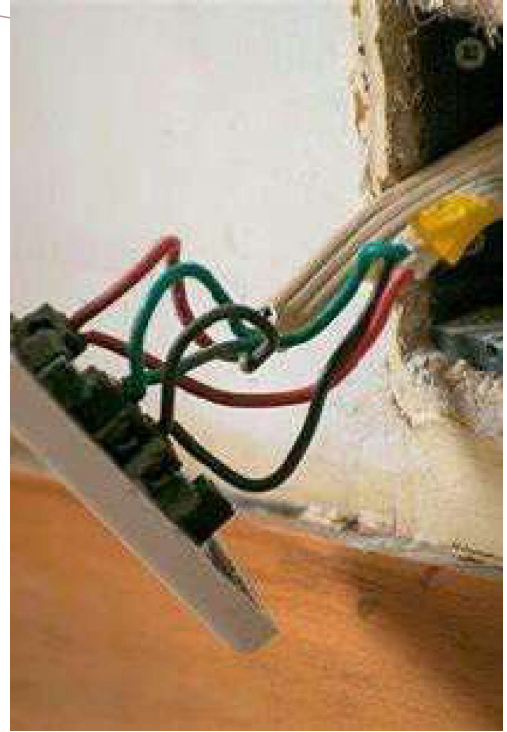


ELECTRICAL WIRES & CONDUCTORS

Any exposed wire that is not properly shielded from the residents is a 24-hour deficiency. This includes insulated wires not encased in proper jacketing or conduit.

Defects:

- Damaged or missing Cover.
- Missing Knockout.
- Open Breaker Port.
- Exposed Wire Nuts.
- Unshielded wires noted (damaged covering).
- Water in contact with conductors.

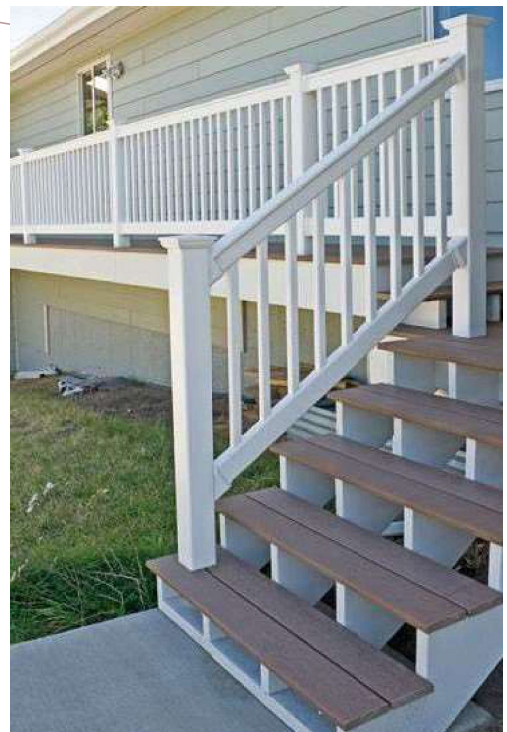


GUARDRAIL

Anytime you have an elevated walking surface that is 30 inches or more above grade, must have a protective railing.

Defects:

- Missing or loose component's but still functions adequately (Advisory or recommended repair).
- Guardrail is missing where required (24-hour repair).
- Incorrect height (24-hour repair).
- Missing or loose components impacting function (24-hour repair).



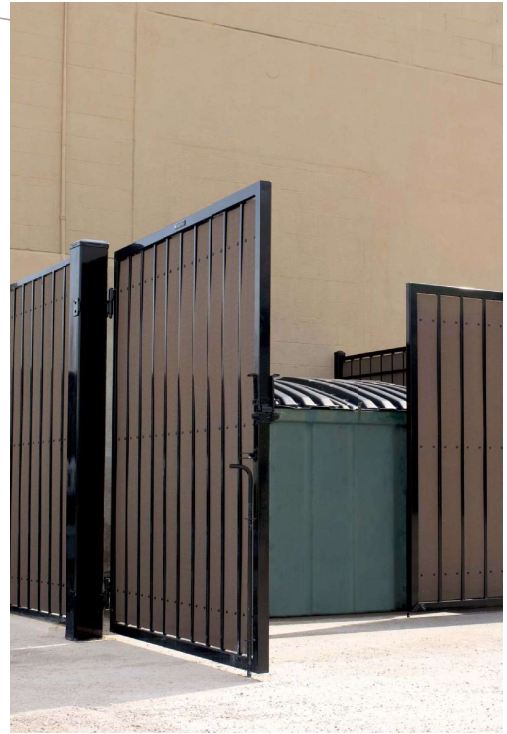
DUMPSTER ENCLOSURE

Good News: The dumpster itself is not inspectable.

Bad News: the area around the dumpster is inspectable.

Defects:

- 10 small items (food wrapper, paper etc.) noted within 100sf area.
- Any large item discarded incorrectly (furniture etc.)
- Uneven Walkways.



HVAC (24-HOUR REPAIRS)

- Between Oct 1 & Mar 31st heat inoperable.
- Heat working but can't maintain 68 degrees.
- Flue is misaligned or restricted/holes.
- Combustion chamber cover missing.
- Gas shut off valve damaged/missing.
- Unvented fuel burning heater.



WATER HEATER

- TPR valve leaking.
- TPR discharge pipe is incorrect material.
- TPR valve blocked- cannot fully actuate.
- TPR discharge pipe has upward slope or is damaged or capped.
- No hot water noted.
- Flue misaligned/blocked (24-hour repair).
- Gas shut off valve missing/incomplete (24-hour repair).

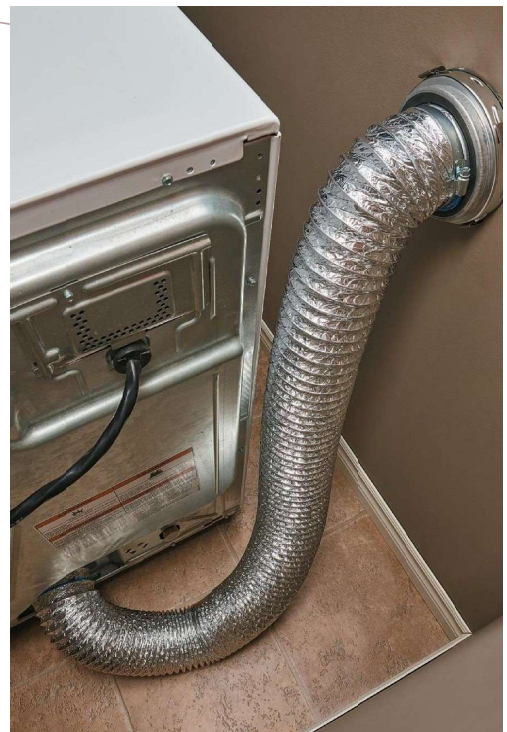


DRYER VENTS

If the dryer vent is clogged, blocked, or anything is restricting the airflow (lint, birds nest, etc.)- 24-hour repair.

Defects:

- Missing or damaged cover noted.
- Clogged dryer vents.
- Electric/gas: Non-metal vent utilized.
- Electric/gas: Vent missing, detached or damaged.
- Electric/gas: Improvised vent filter (clog, sock).
- Electric/gas: kink restricts flow.



TOILETS

Defects:

- Toilet is missing (24-hour repair).
- Doesn't flush or refill correctly.



LEAKS AND WASTEWATER

- Evidence of gas, propane/oil leak at main, appliance, etc. (24-hour repair).
- Sewage Leak
- Sewage Backed up



MOLD & MILDEW

- If it is less than 4 inches of mold, it is an advisory (recommended repair).
- If it is more than 4 square inches of mold , it is a moderate safety hazard (30-day repair).
- If there is more than 1 square foot of mold, it is a severe safety hazard (**24-hour repair**).



STRUCTURAL DEFECTS

Includes walls, floors, ceilings, beams, columns, etc.

- Any structural member appearing in danger of collapse/failure (**24-hour repair**).

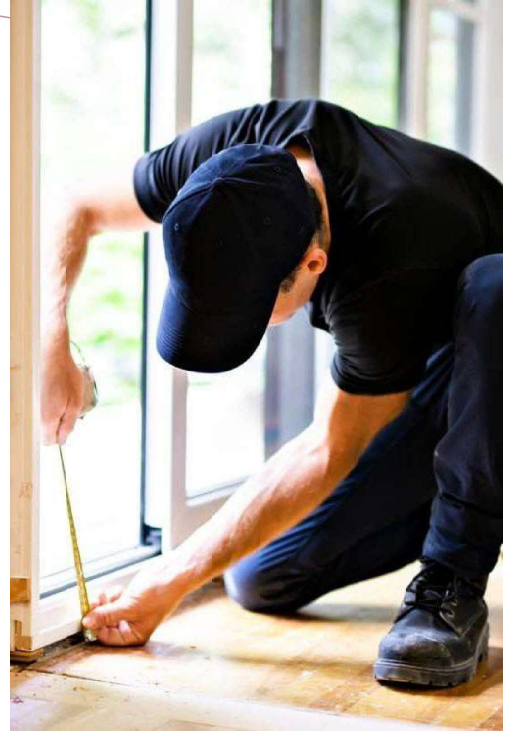


DEFECT REPAIRS

Good News: Under Nspire, HUD is not particularly concerned about the quality of repairs. Although, they must be permanent repairs (nothing that can temporarily fix the repair).

3 exceptions:

- Electrical Enclosure: If it has 110+ volts, HUD does care about the repairs made. No Foreign Material (non-UL listed material).
- Fire Rated Door: ANY repairs made must include manufacturers documentation.
- Entry Door: Entry door repairs must be made with "equivalent" material. (wood door → Wood Putty).



NSPIRE has given us most of the new inspection protocols, although, there is still more coming. If you would like to see new updates as they come, here is a link:

[US Inspection Group – NSPIRE In 2 Minutes](#)

THANK YOU

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